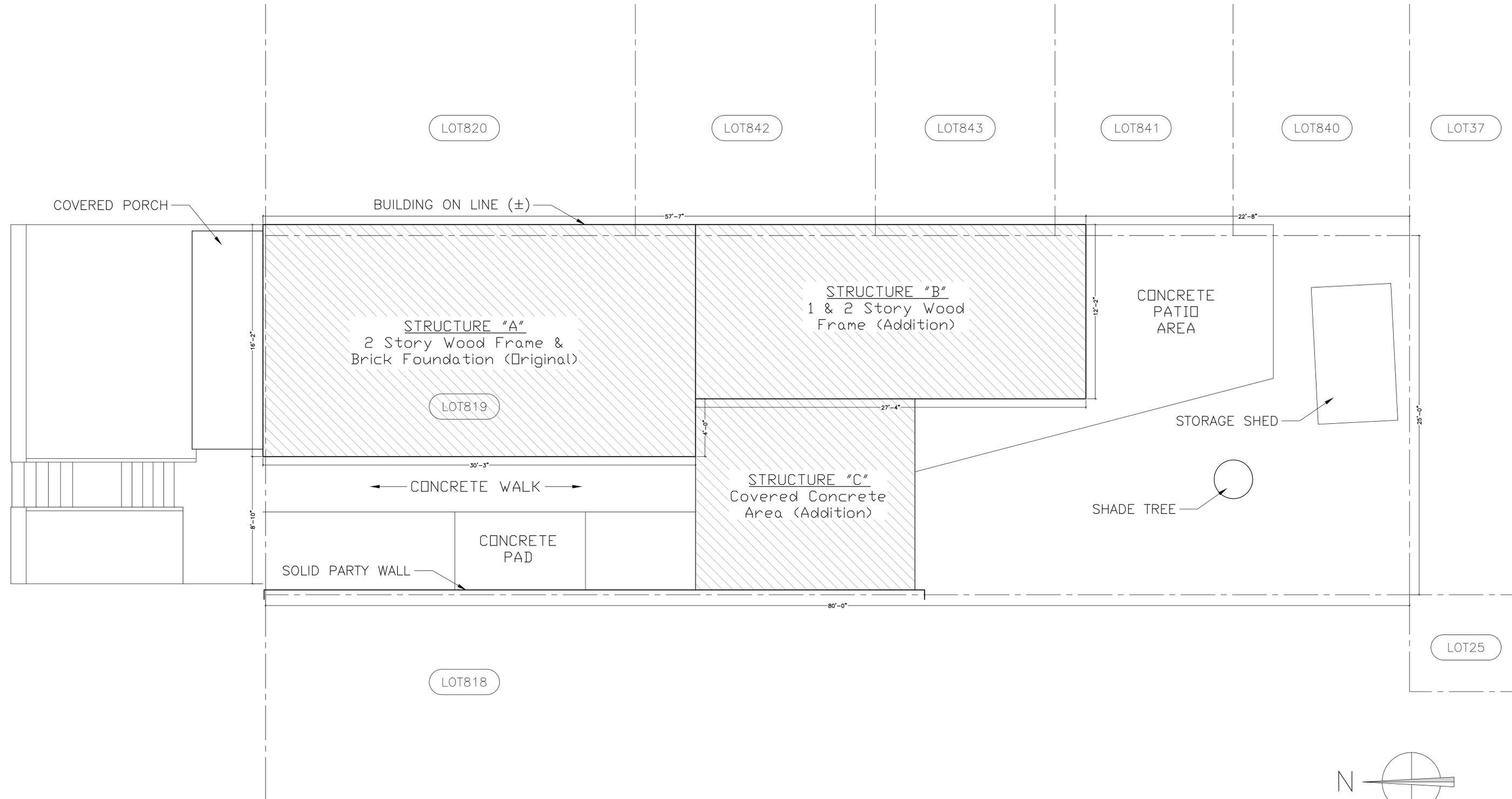


"D" STREET SOUTHEAST



OWNER: James & Heather Liddell
 1100 First Street, SE, Apt 711
 Washington, DC 20003
 717.575.9778

ARCHITECT: Liddell Projects, LLC
 175 River Hill Rd.
 Conestoga, PA 17516
 717.575.8908

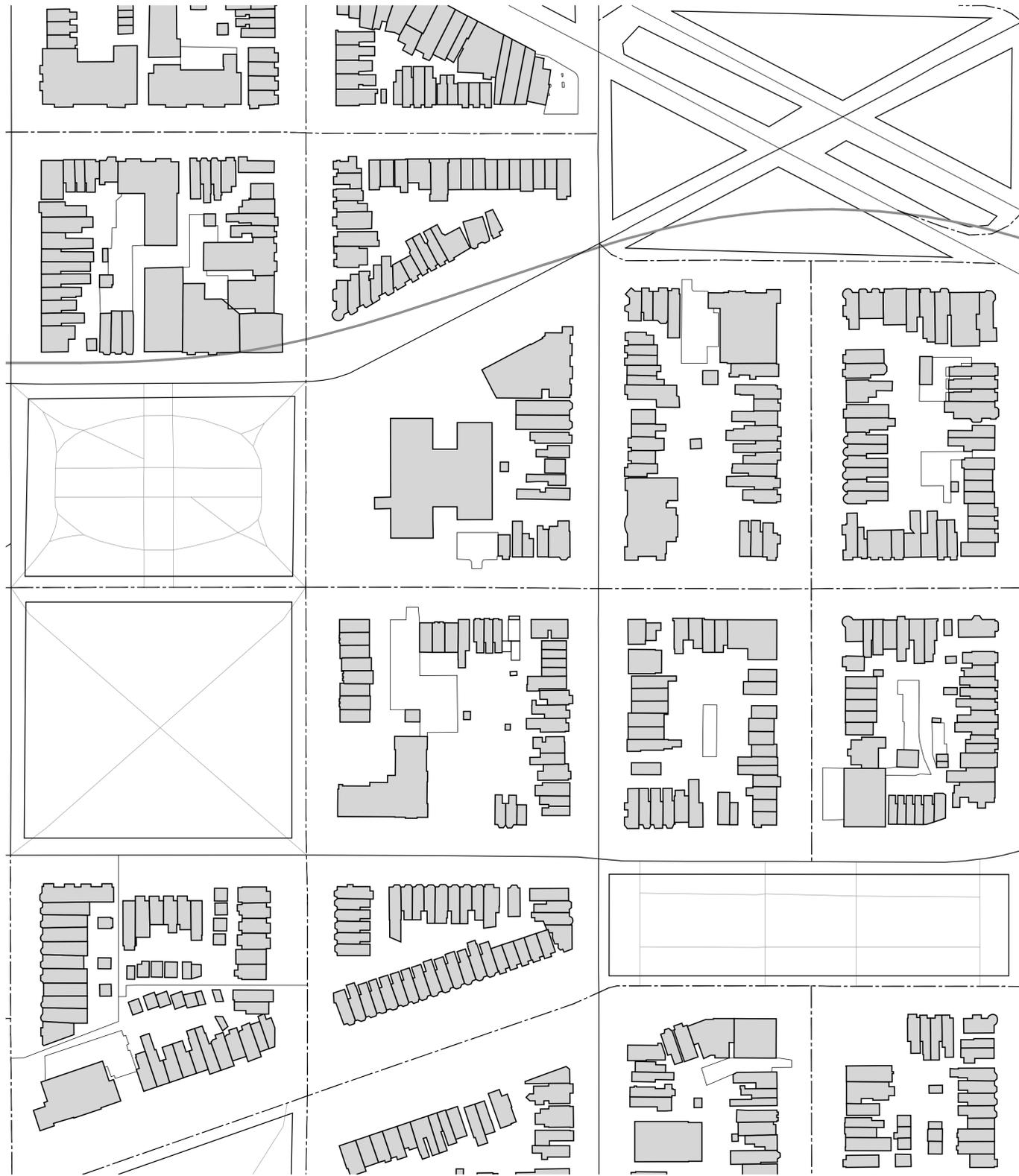
NOTES:

EXISTING CONDITIONS

Capitol Hill Townhouse
 325 D Street SE
 Washington DC, 20003

PROJECT PHASE:	CONCEPT DESIGN
REVISION NUMBER:	REV00
RELEASE DATE:	10 SEP 14
SCALE:	5/16" = 1'0"

A1.00



1 Existing Structure, Capitol Hill District
A1.01



2 Existing Structure, D Street SE
A1.01

OWNER: James & Heather Liddell
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Washington, DC 20003
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ARCHITECT: Liddell Projects, LLC
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Conestoga, PA 17516
717.575.8908

NOTES:

Capitol Hill Townhouse
325 D Street SE
Washington DC, 20003

PROJECT PHASE: CONCEPT DESIGN
REVISION NUMBER: REV00
RELEASE DATE: 10 SEP 14
SCALE: AS NOTED

SITE PLAN

A1.01



1 Street Elevation – Existing
A1.02



2 Street Elevation – Proposed
A1.02

OWNER: James & Heather Liddell
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Washington, DC 20003
717.575.9778

ARCHITECT: Liddell Projects, LLC
175 River Hill Rd.
Conestoga, PA 17516
717.575.8908

NOTES:

SITE ELEVATION

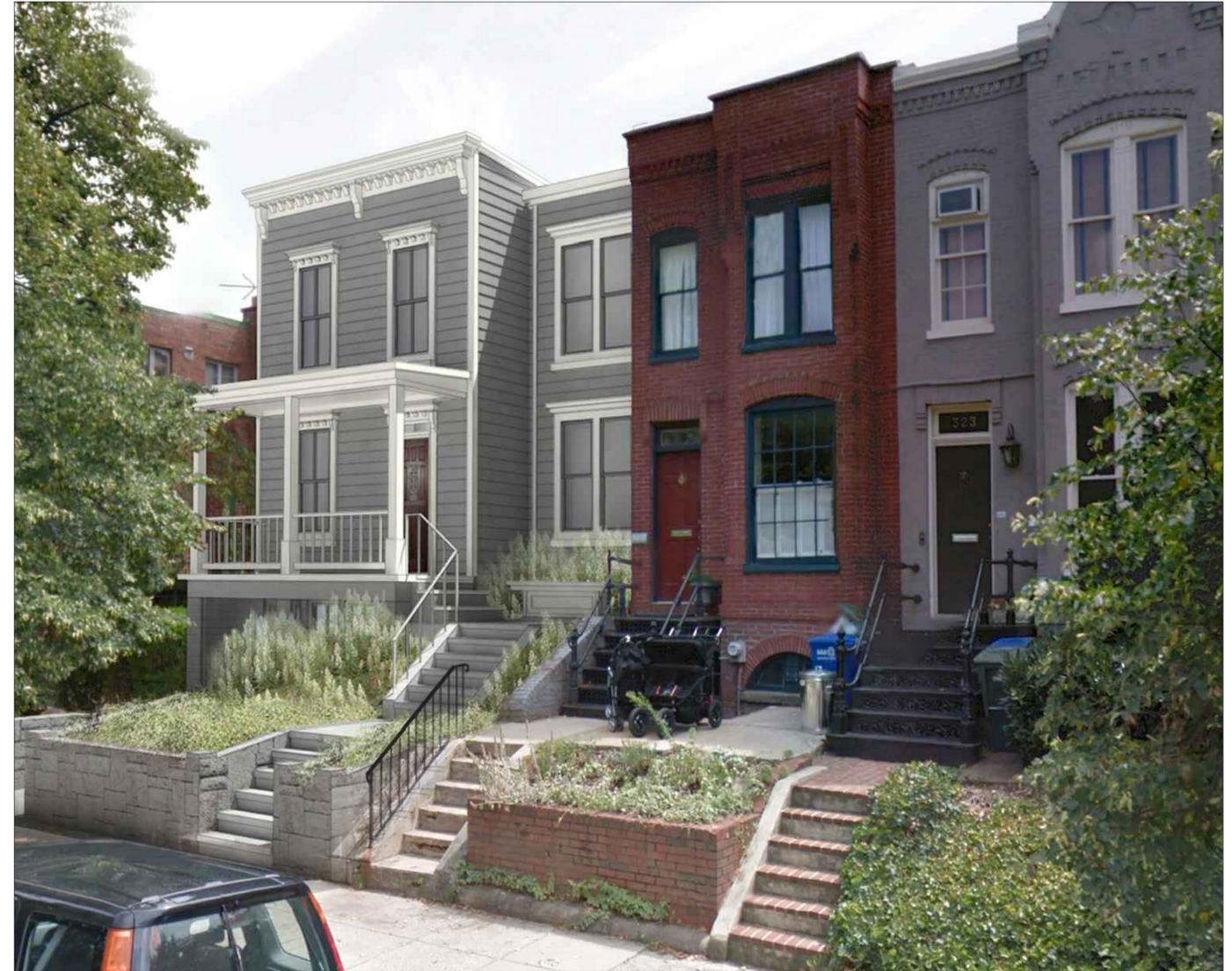
Capitol Hill Townhouse
325 D Street SE
Washington DC, 20003

PROJECT PHASE: CONCEPT DESIGN
REVISION NUMBER: REV00
RELEASE DATE: 10 SEP 14
SCALE: AS NOTED

A1.02



1 Street View – Existing
A1.03



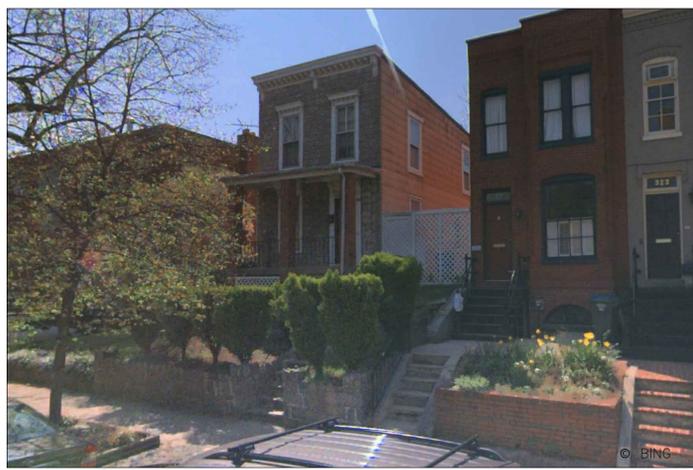
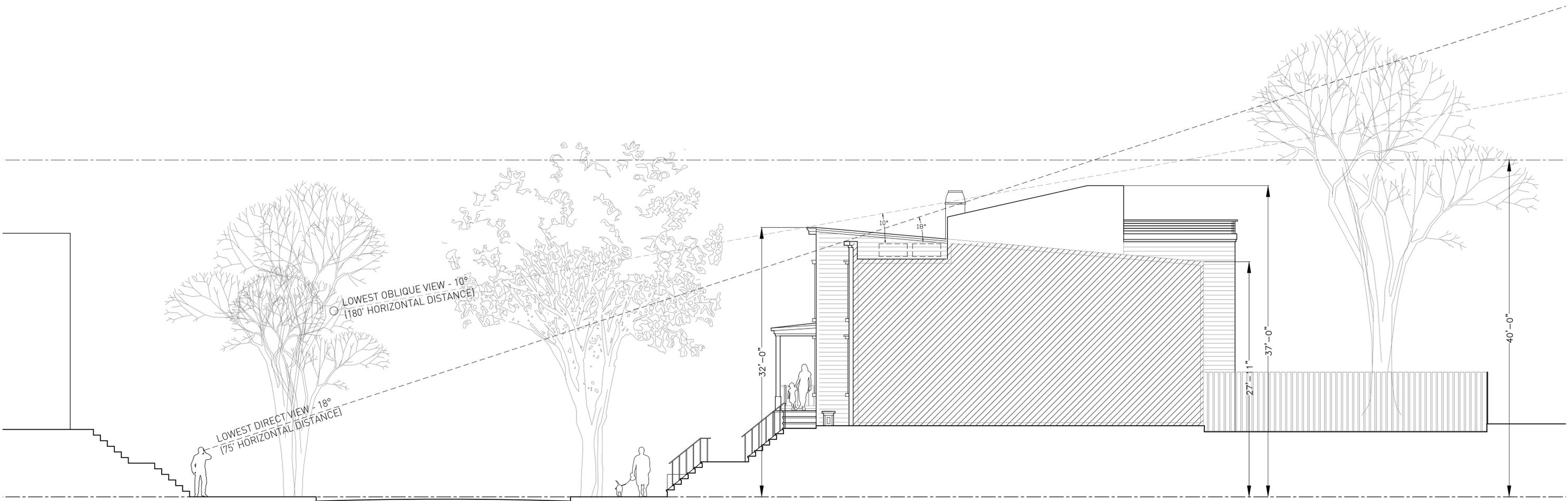
2 Street View – Proposed
A1.03

OWNER: James & Heather Liddell
1100 First Street, SE, Apt 711
Washington, DC 20003
717.575.9778

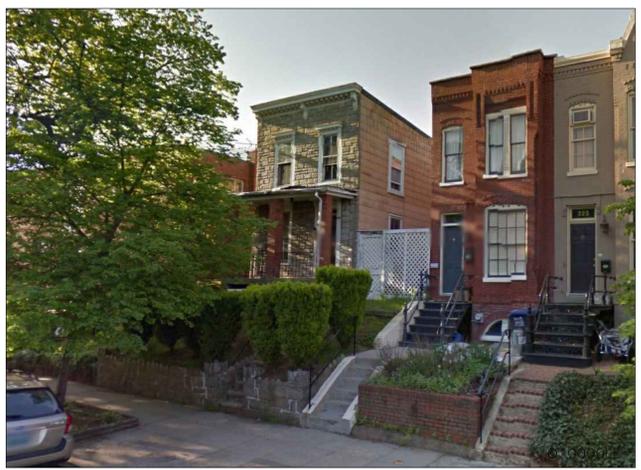
ARCHITECT: Liddell Projects, LLC
175 River Hill Rd.
Conestoga, PA 17516
717.575.8908

NOTES:

Capitol Hill Townhouse 325 D Street SE Washington DC, 20003		PROJECT PHASE: CONCEPT DESIGN	SITE VIEWS A1.03
		REVISION NUMBER: REV00	
RELEASE DATE: 10 SEP 14			
SCALE: N/A			



NORTHWEST / FALL



NORTHWEST / SPRING



NORTHEAST / FALL



NORTHEAST / SPRING

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1100 First Street, SE, Apt 711
Washington, DC 20003
717.575.9778

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NOTES: Roof Deck and Roof Access Structure will not be visible from any public vantage point along D Street SE

Capitol Hill Townhouse 325 D Street SE Washington DC, 20003		PROJECT PHASE: CONCEPT DESIGN	A1.04
		REVISION NUMBER: REV00	
RELEASE DATE: 10 SEP 14			
SCALE: 3/16"=1'0"			

SITE SECTION



STRUCTURE "A"



Storage Shed & Concrete Patio



STRUCTURE "B"



STRUCTURE "C"

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 717.575.9778

ARCHITECT: Liddell Projects, LLC
 175 River Hill Rd.
 Conestoga, PA 17516
 717.575.8908

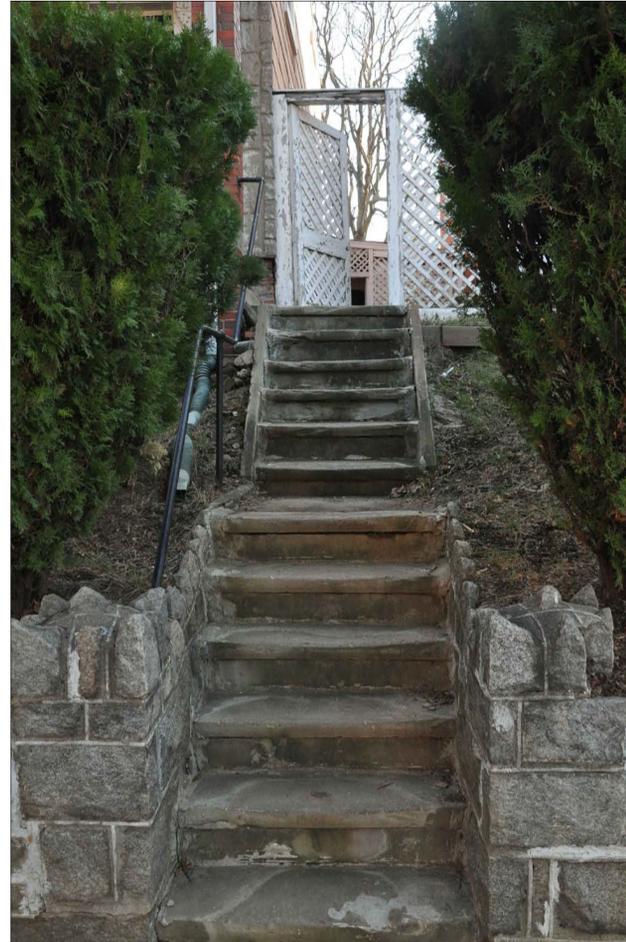
NOTES:

BUILDING PHOTOS

Capitol Hill Townhouse
 325 D Street SE
 Washington DC, 20003

PROJECT PHASE:	CONCEPT DESIGN
REVISION NUMBER:	REV00
RELEASE DATE:	10 SEP 14
SCALE:	3/16"=1'0"

A1.05



Existing Berm and Stair Configuration



Topography of 325 D Street SE & Neighbouring Property



Existing Curb Cuts on D Street SE

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 Conestoga, PA 17516
 717.575.8908

NOTES:

SITE PHOTOS

Capitol Hill Townhouse
 325 D Street SE
 Washington DC, 20003

PROJECT PHASE:	CONCEPT DESIGN
REVISION NUMBER:	REV00
RELEASE DATE:	10 SEP 14
SCALE:	3/16"=1'0"

A1.06



Aerial View of D Street SE



820



325 D Street SE

819



818



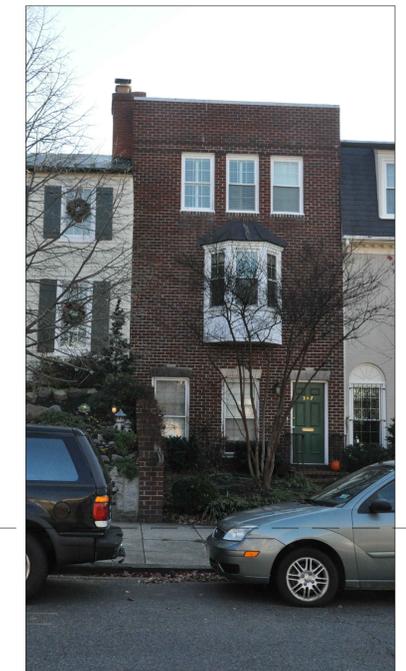
817



816



815



36

OWNER: James & Heather Liddell
1100 First Street, SE, Apt 711
Washington, DC 20003
717.575.9778

ARCHITECT: Liddell Projects, LLC
175 River Hill Rd.
Conestoga, PA 17516
717.575.8908

NOTES:

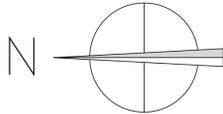
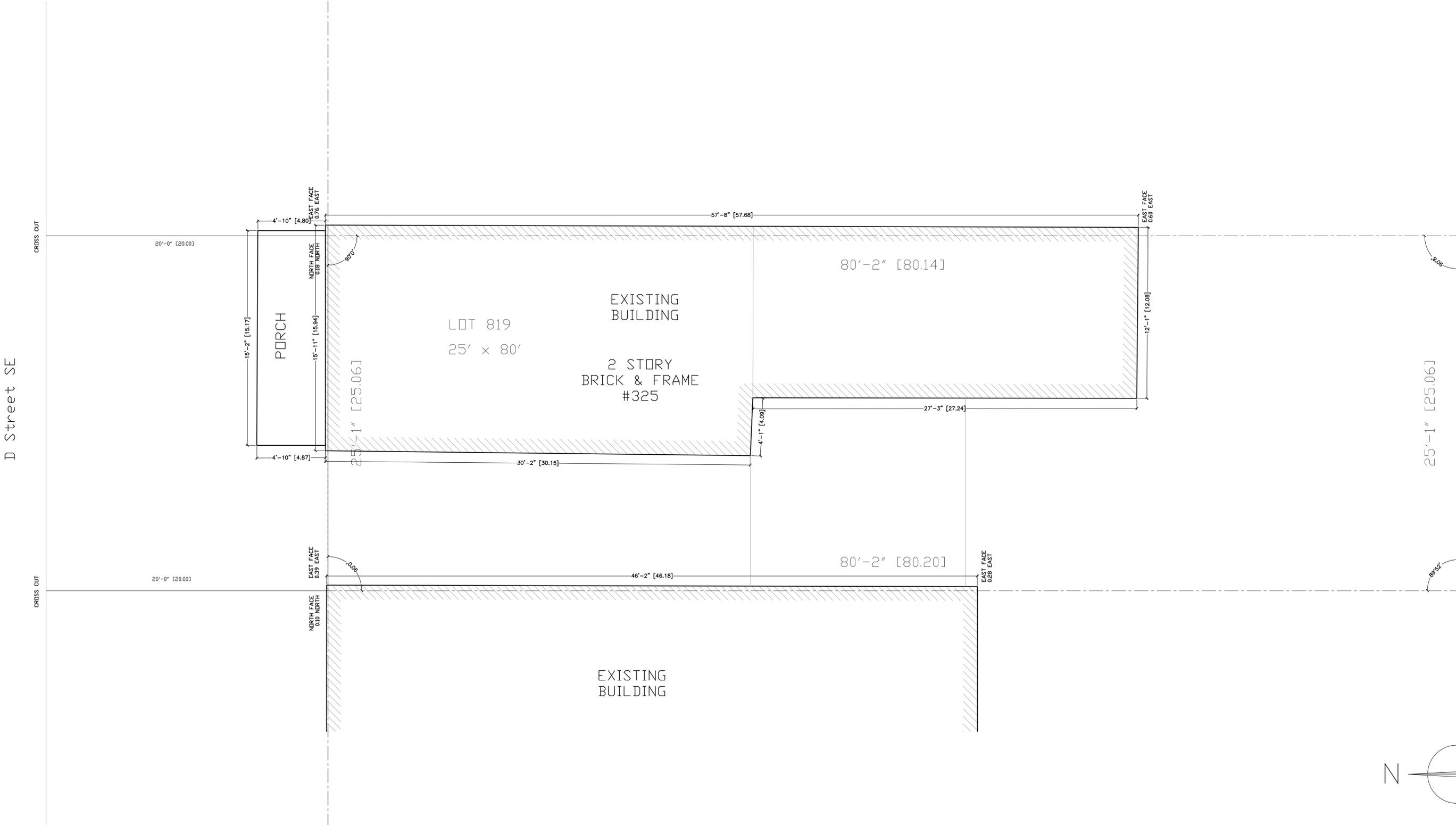
CONTEXT PHOTOS

Capitol Hill Townhouse
325 D Street SE
Washington DC, 20003

PROJECT PHASE:	CONCEPT DESIGN
REVISION NUMBER:	REV00
RELEASE DATE:	10 SEP 14
SCALE:	3/16"=1'0"

A1.07

EXISTING



OWNER: James & Heather Liddell
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ARCHITECT: Liddell Projects, LLC
 175 River Hill Rd.
 Conestoga, PA 17516
 717.575.8908

NOTES:

EXISTING - PLOT PLAN		A1.20
Capitol Hill Townhouse 325 D Street SE Washington DC, 20003	PROJECT PHASE: CONCEPT DESIGN	
	REVISION NUMBER: REV00	
	RELEASE DATE: 10 SEP 14	
	SCALE: 5/16"=1'0"	

EXISTING

OPEN AREA

117.0	Side / Hardscape
163.5	Side / Softscape
247.0	Back / Hardscape
+ 435.0	Back / Softscape
<hr/>	
962.5	TOTAL OPEN AREA

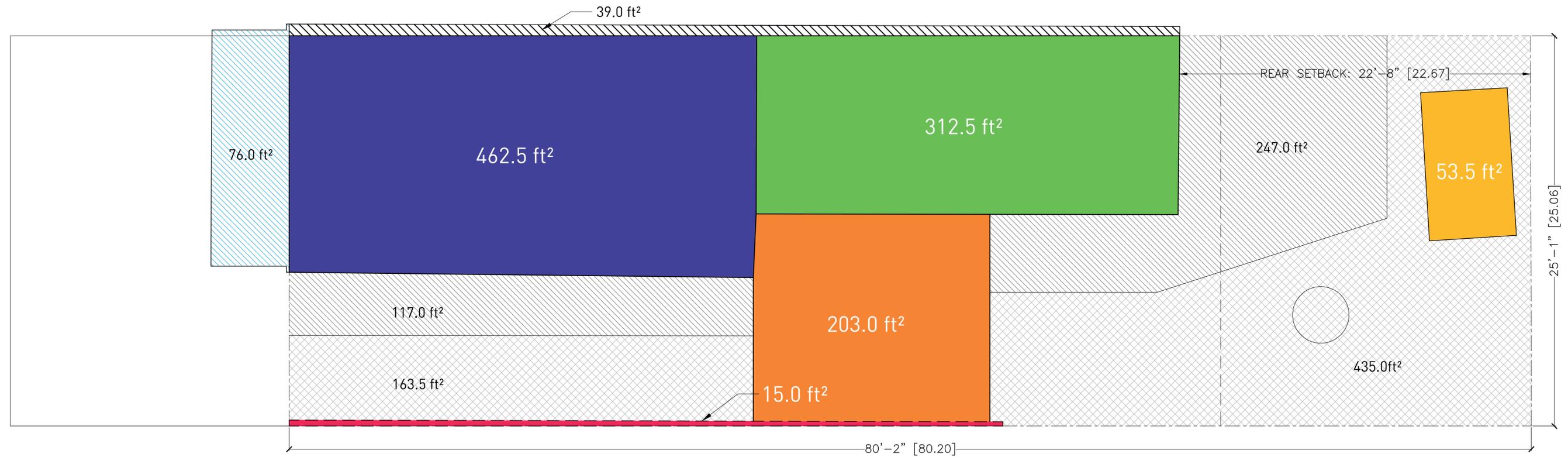
BUILT AREA

462.5	Structure "A"
312.5	Structure "B"
203.0	Structure "C"
53.5	Storage Shed
+ 15.0	Party Wall
<hr/>	
1,046.5	TOTAL BUILT AREA

SITE AREA

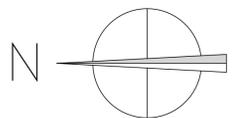
listed area:
80.00 ft x 25.00 ft = 2,000 ft²

actual area:
80.20 ft x 25.06 ft = 2,009 ft²



$$\text{PERVIOUS SURFACE} = \frac{598.5}{2,009.0} = 29.7\% \quad (20\% \text{ Min})$$

$$\text{LOT OCCUPANCY} = \frac{1,046.5 \text{ ft}^2}{2,009.0 \text{ ft}^2} = 52.1\% \quad (60\% \text{ Max})$$



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Washington, DC 20003
717.575.9778

ARCHITECT: Liddell Projects, LLC
175 River Hill Rd.
Conestoga, PA 17516
717.575.8908

- NOTES:
- Original Home
 - Front Porch
 - New Construction
 - Rear Addition
 - Storage Shed
 - Roof Structure
 - Side Addition
 - Party Wall

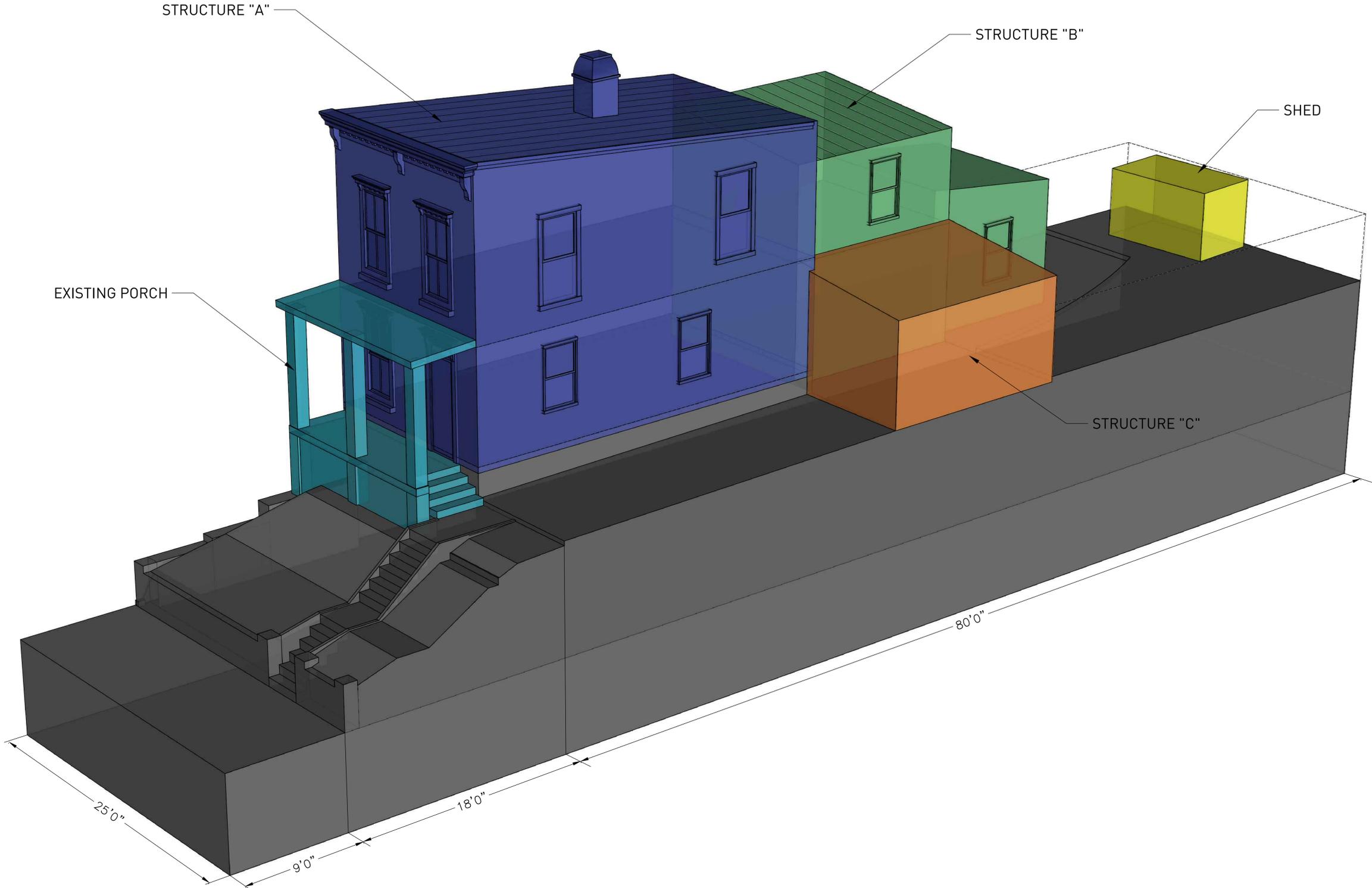
EXISTING - LOT OCCUPANCY

Capitol Hill Townhouse
325 D Street SE
Washington DC, 20003

PROJECT PHASE:	CONCEPT DESIGN
REVISION NUMBER:	REV00
RELEASE DATE:	10 SEP 14
SCALE:	5/16"=1'0"

A1.21

EXISTING



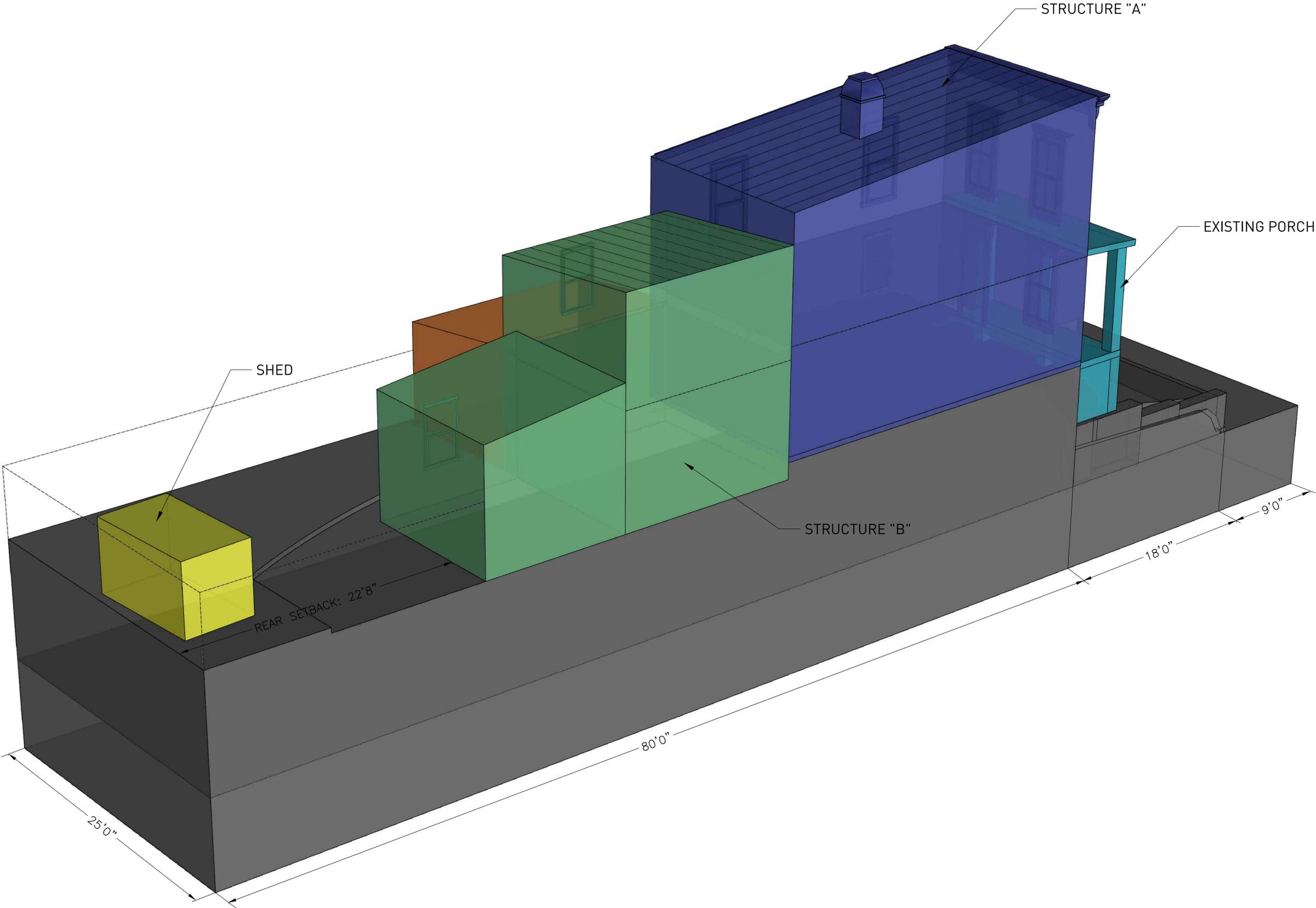
OWNER: James & Heather Liddell
 1100 First Street, SE, Apt 711
 Washington, DC 20003
 717.575.9778

ARCHITECT: Liddell Projects, LLC
 175 River Hill Rd.
 Conestoga, PA 17516
 717.575.8908

- NOTES:
- A Original Home
 - C Front Porch
 - N New Construction
 - B Rear Addition
 - S Storage Shed
 - R Roof Structure
 - C Side Addition
 - P Party Wall

EXISTING MASSING - NW		A1.22
Capitol Hill Townhouse 325 D Street SE Washington DC, 20003	PROJECT PHASE: CONCEPT DESIGN REVISION NUMBER: REV00 RELEASE DATE: 10 SEP 14 SCALE: 5/16"=1'0"	

EXISTING



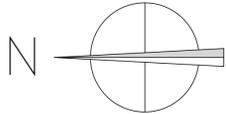
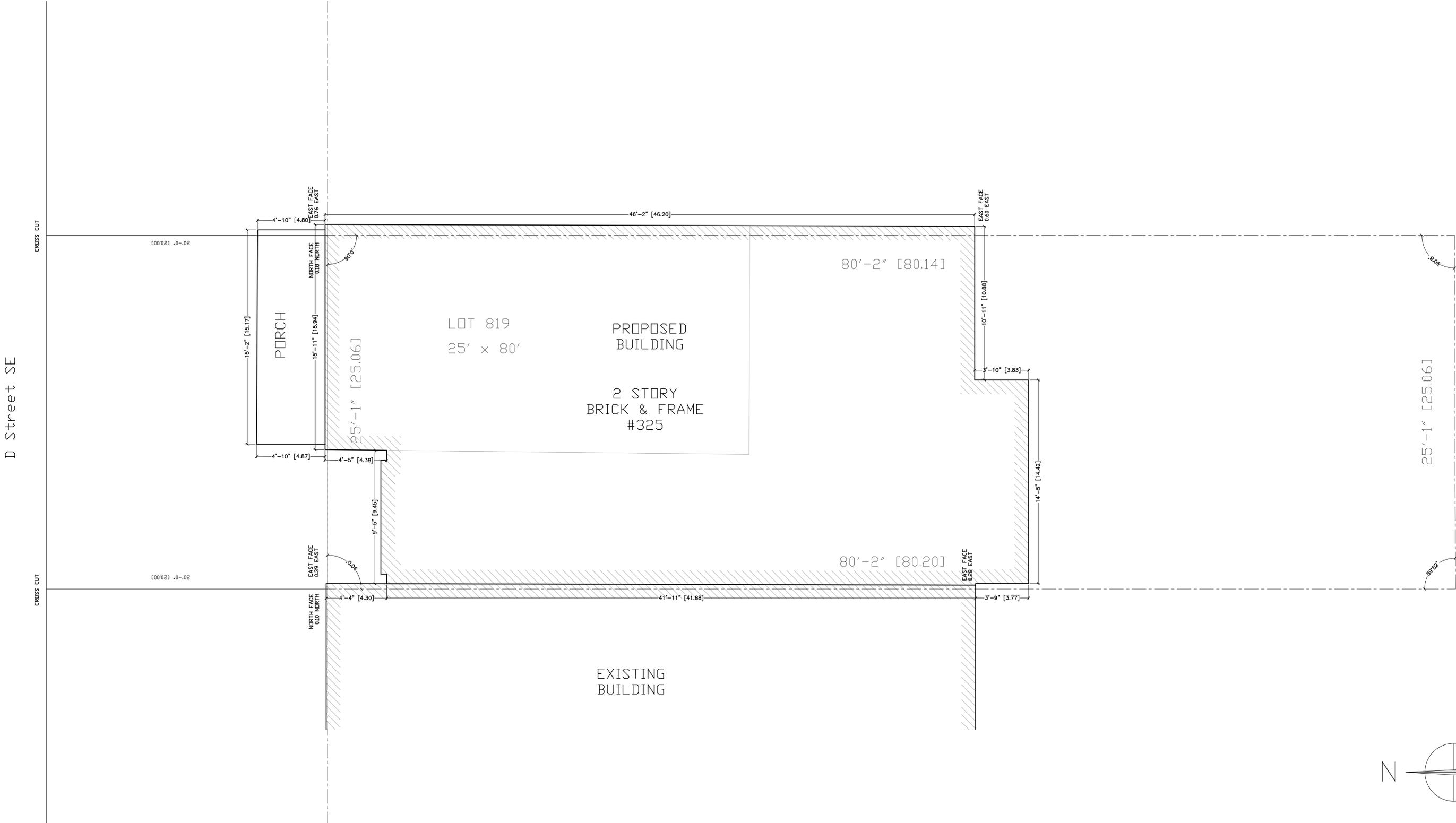
OWNER: James & Heather Liddell
 1100 First Street, SE, Apt 711
 Washington, DC 20003
 717.575.9778

ARCHITECT: Liddell Projects, LLC
 175 River Hill Rd.
 Conestoga, PA 17516
 717.575.8908

- NOTES:
- Original Home
 - Front Porch
 - New Construction
 - Rear Addition
 - Storage Shed
 - Roof Structure
 - Side Addition
 - Party Wall

EXISTING MASSING - SE		A1.23
Capitol Hill Townhouse 325 D Street SE Washington DC, 20003	PROJECT PHASE: CONCEPT DESIGN	
	REVISION NUMBER: REV00	
	RELEASE DATE: 10 SEP 14	
	SCALE: 5/16"=1'0"	

PROPOSED



OWNER: James & Heather Liddell
1100 First Street, SE, Apt 711
Washington, DC 20003
717.575.9778

ARCHITECT: Liddell Projects, LLC
175 River Hill Rd.
Conestoga, PA 17516
717.575.8908

NOTES:

PROPOSED - PLOT PLAN		A1.30
Capitol Hill Townhouse 325 D Street SE Washington DC, 20003	PROJECT PHASE: CONCEPT DESIGN	
	REVISION NUMBER: REV00	
	RELEASE DATE: 10 SEP 14	
	SCALE: 5/16"=1'0"	

PROPOSED

OPEN AREA

36.5 Side / Softscape
 377.0 Back / Hardscape
 + 424.0 Back / Softscape

 837.5 TOTAL OPEN AREA

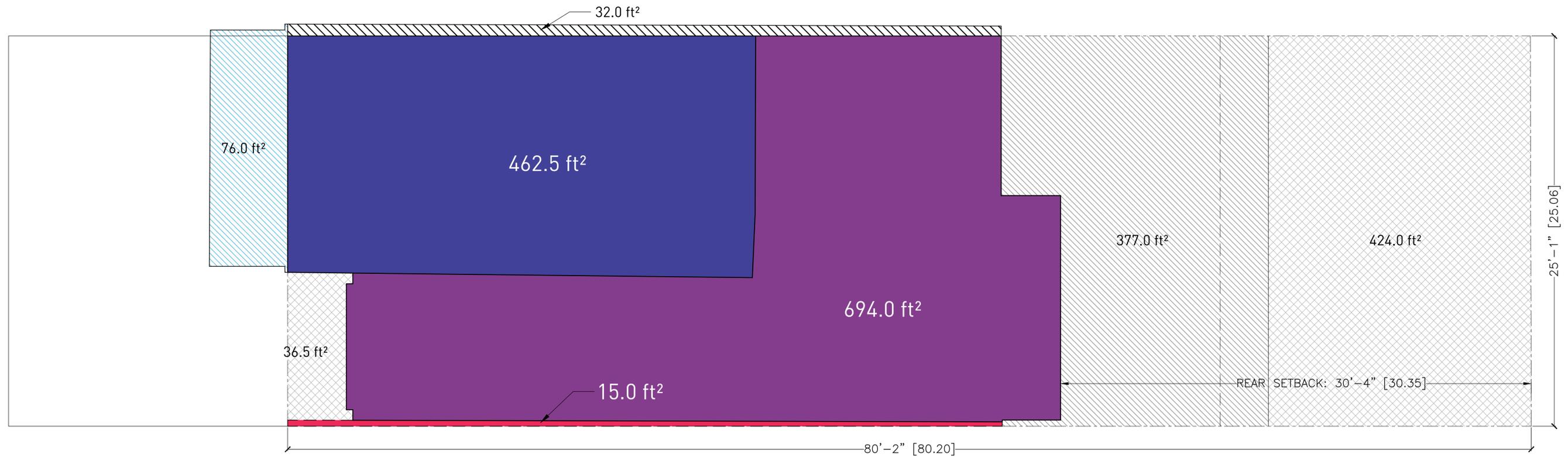
BUILT AREA

462.5 Structure "A"
 694.0 New Construction
 + 15.0 Party Wall

 1,171.5 TOTAL BUILT AREA

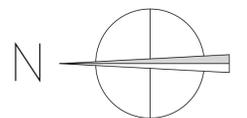
SITE AREA

listed area:
 80.00 ft x 25.00 ft = 2,000 ft²
 actual area:
 80.20 ft x 25.06 ft = 2,009 ft²



$$\text{PERVIOUS SURFACE} = \frac{460.5}{2,009.0} = 22.9\% \text{ (20\% Min)}$$

$$\text{LOT OCCUPANCY} = \frac{1,171.5}{2,009.0} = 58.3\% \text{ (60\% Max)}$$



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 Washington, DC 20003
 717.575.9778

ARCHITECT: Liddell Projects, LLC
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 Conestoga, PA 17516
 717.575.8908

- NOTES:
- A Original Home
 - B Rear Addition
 - C Side Addition
 - Front Porch
 - Storage Shed
 - Party Wall
 - New Construction
 - Roof Structure

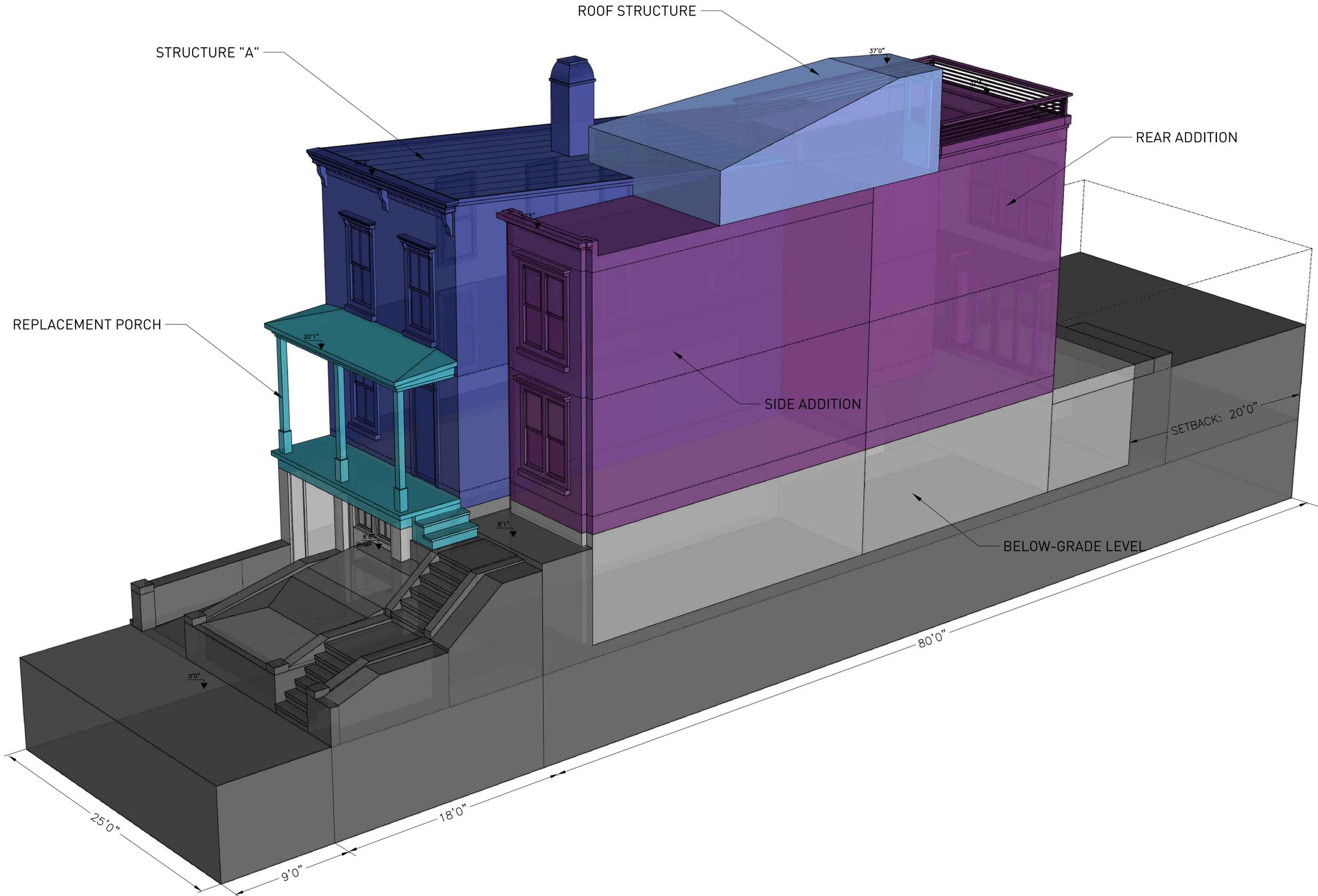
PROPOSED - LOT OCCUPANCY

Capitol Hill Townhouse
 325 D Street SE
 Washington DC, 20003

PROJECT PHASE: CONCEPT DESIGN
 REVISION NUMBER: REV00
 RELEASE DATE: 10 SEP 14
 SCALE: 5/16"=1'0"

A1.31

PROPOSED



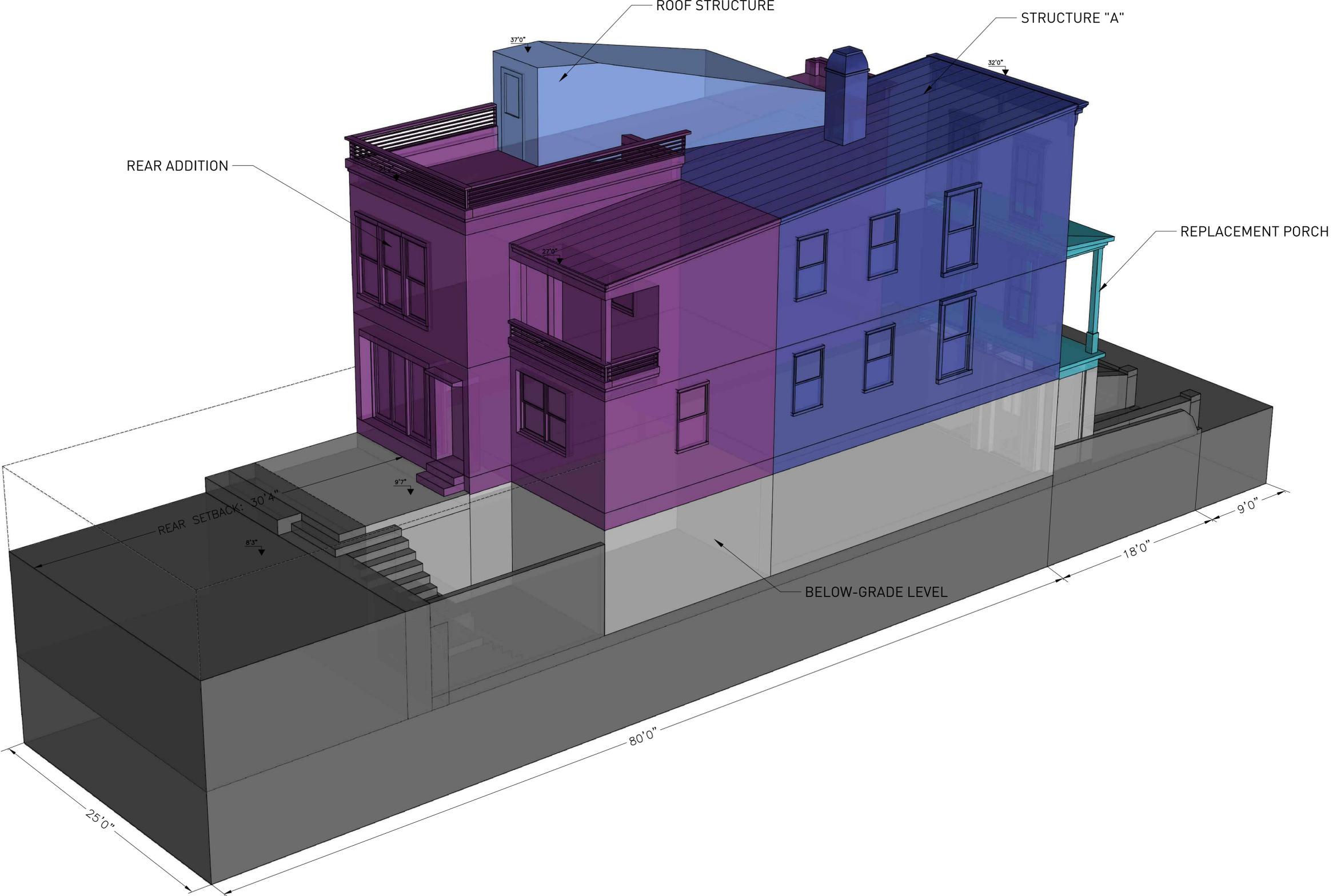
OWNER: James & Heather Liddell
 1100 First Street, SE, Apt 711
 Washington, DC 20003
 717.575.9778

ARCHITECT: Liddell Projects, LLC
 175 River Hill Rd.
 Conestoga, PA 17516
 717.575.8908

- NOTES:
- A Original Home
 - B Rear Addition
 - C Side Addition
 - D Front Porch
 - E Storage Shed
 - F Party Wall
 - G New Construction
 - H Roof Structure

PROPOSED MASSING - NW		A1.32
Capitol Hill Townhouse 325 D Street SE Washington DC, 20003	PROJECT PHASE: CONCEPT DESIGN REVISION NUMBER: REV00 RELEASE DATE: 10 SEP 14 SCALE: 5/16"=1'0"	

PROPOSED

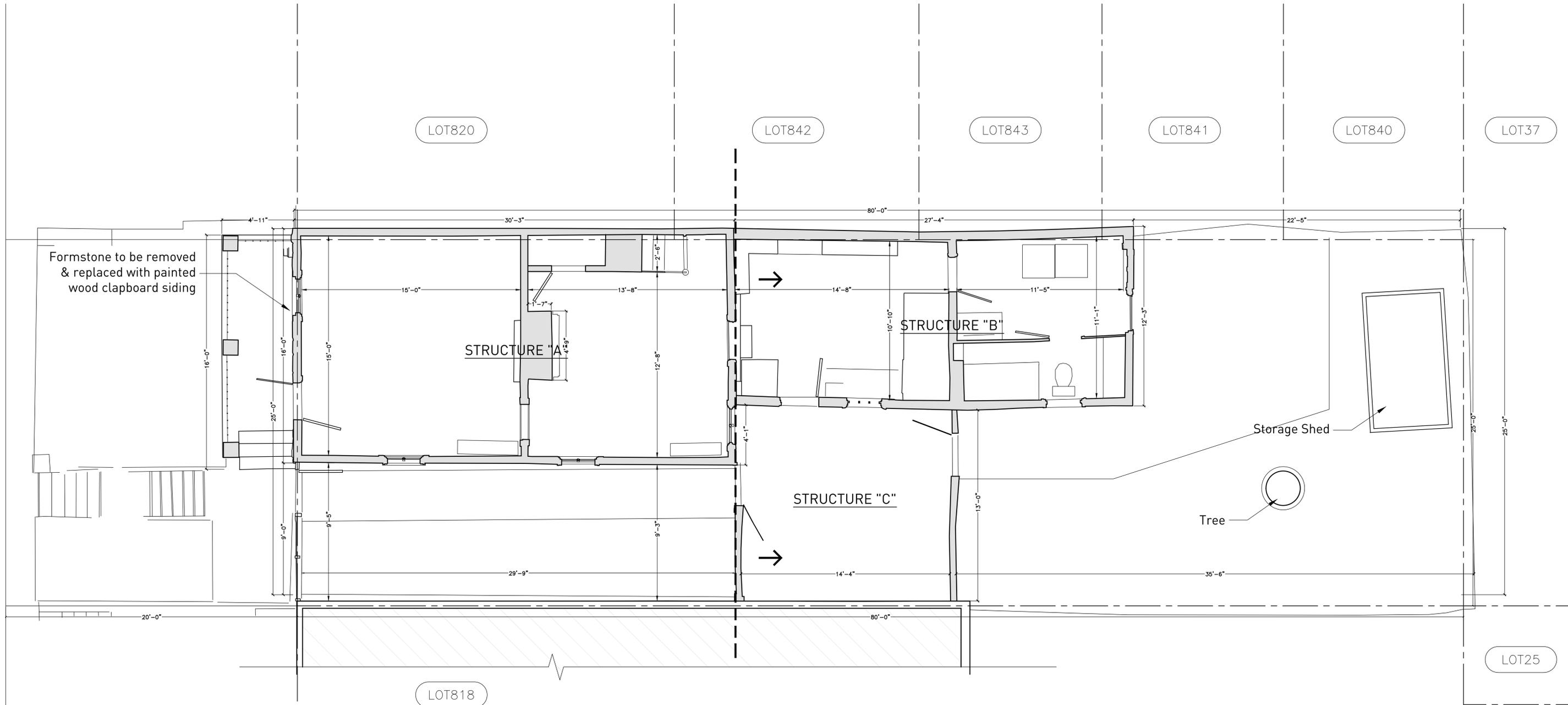


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 Washington, DC 20003
 717.575.9778

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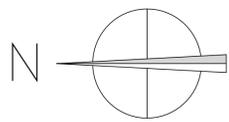
- NOTES:
- A Original Home
 - B Rear Addition
 - C Side Addition
 - D Front Porch
 - E Storage Shed
 - F Party Wall
 - G New Construction
 - H Roof Structure

PROPOSED MASSING - SE		A1.33
Capitol Hill Townhouse 325 D Street SE Washington DC, 20003	PROJECT PHASE: CONCEPT DESIGN REVISION NUMBER: REV00 RELEASE DATE: 10 SEP 14 SCALE: 5/16"=1'0"	



- EXTERIOR SURFACES OF STRUCTURE "A" TO BE REPLACED
- STRUCTURAL MEMBERS, WOOD FLOORING & WINDOW ASSEMBLY TO REMAIN
- PORCH TO BE RE-BUILT WITH BASEMENT WINDOWS & ENTRY VESTIBULE BELOW

- ALL STRUCTURES AT REAR OF SITE TO BE REMOVED
- INCLUDING: STRUCTURE "B",
STRUCTURE "C",
Storage Shed
Concrete at Grade

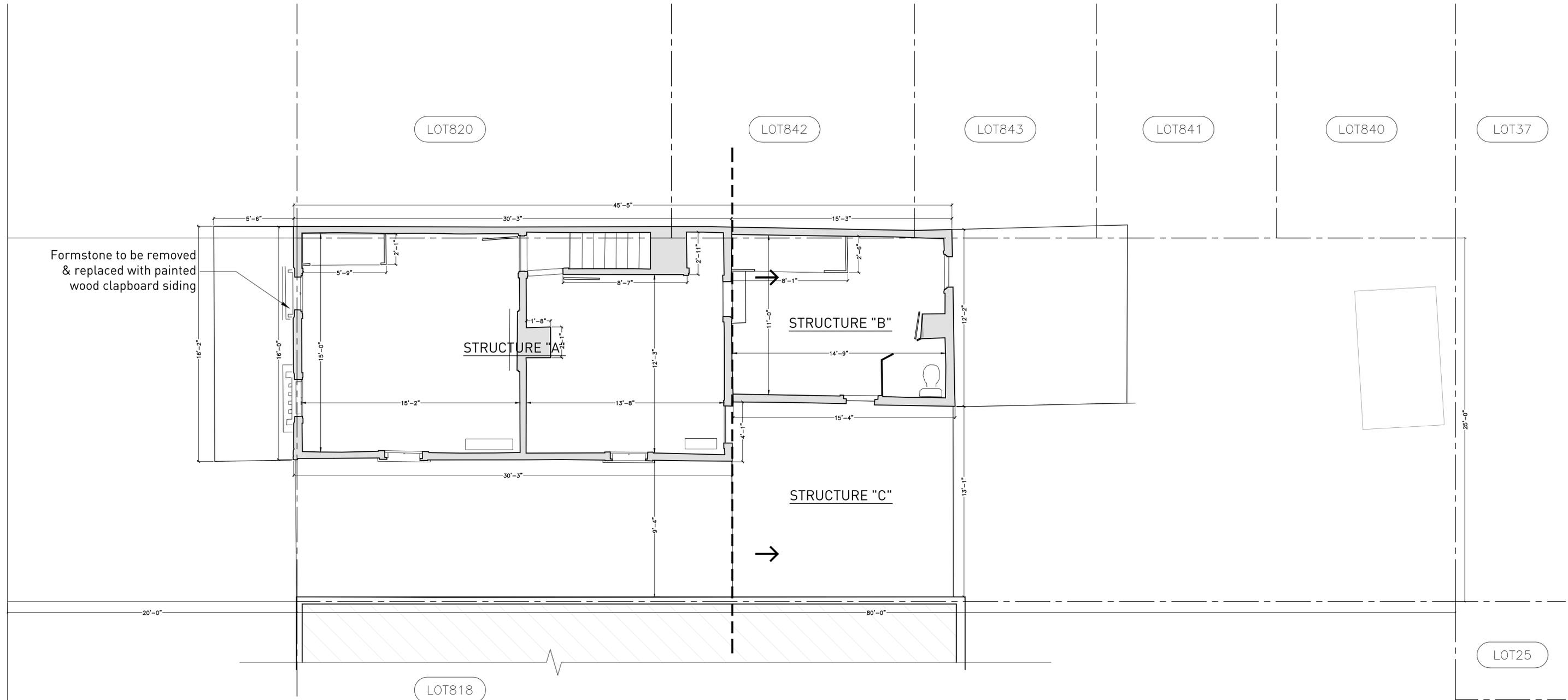


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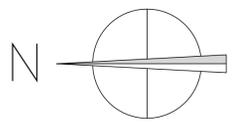
NOTES:

EXISTING - LEVEL 01 PLAN		A1.90
Capitol Hill Townhouse 325 D Street SE Washington DC, 20003	PROJECT PHASE: CONCEPT DESIGN	
	REVISION NUMBER: REV00	
	RELEASE DATE: 10 SEP 14	
	SCALE: 5/16"=1'0"	



- EXTERIOR SURFACES OF STRUCTURE "A" TO BE REPLACED
- STRUCTURAL MEMBERS, WOOD FLOORING & WINDOW ASSEMBLY TO REMAIN
- PORCH TO BE RE-BUILT WITH BASEMENT WINDOWS & ENTRY VESTIBULE BELOW

- ALL STRUCTURES AT REAR OF SITE TO BE REMOVED
- INCLUDING: STRUCTURE "B",
STRUCTURE "C",
Storage Shed
Concrete at Grade

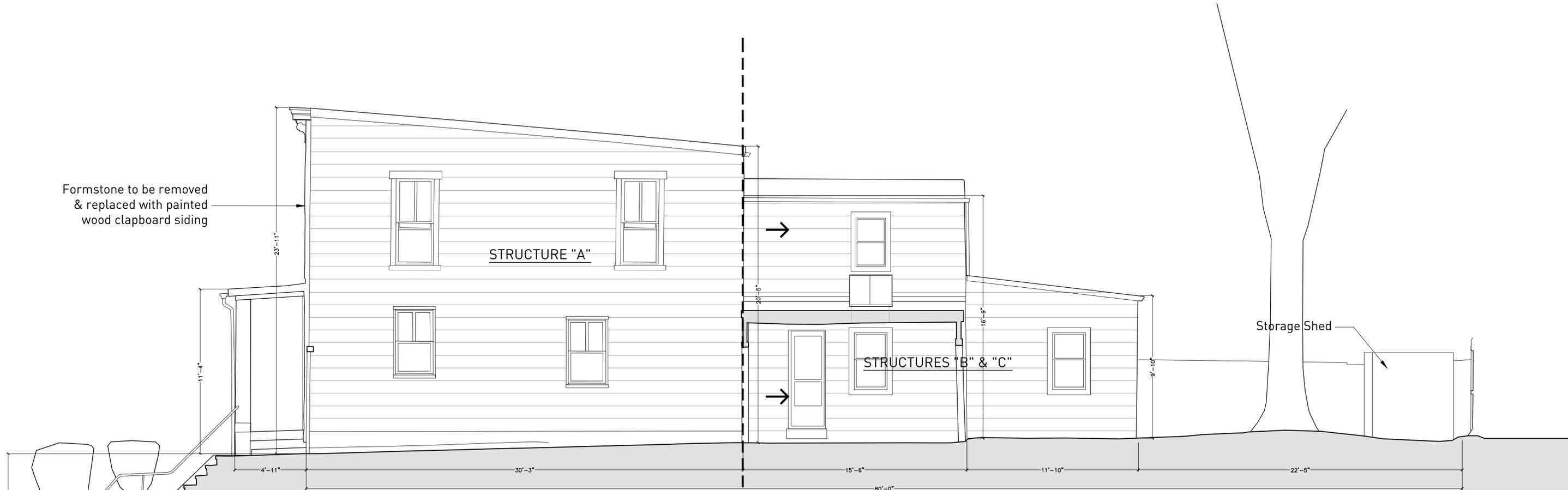


OWNER: James & Heather Liddell
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717.575.9778

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175 River Hill Rd.
Conestoga, PA 17516
717.575.8908

NOTES:

EXISTING - LEVEL 02 PLAN		A1.91
Capitol Hill Townhouse 325 D Street SE Washington DC, 20003	PROJECT PHASE: CONCEPT DESIGN	
	REVISION NUMBER: REV00	
	RELEASE DATE: 10 SEP 14	
	SCALE: 5/16"=1'0"	



Formstone to be removed
& replaced with painted
wood clapboard siding

STRUCTURE "A"

STRUCTURES "B" & "C"

Storage Shed

- EXTERIOR SURFACES OF STRUCTURE "A" TO BE REPLACED
- STRUCTURAL MEMBERS, WOOD FLOORING & WINDOW ASSEMBLY TO REMAIN
- PORCH TO BE RE-BUILT WITH BASEMENT WINDOWS & ENTRY VESTIBULE BELOW

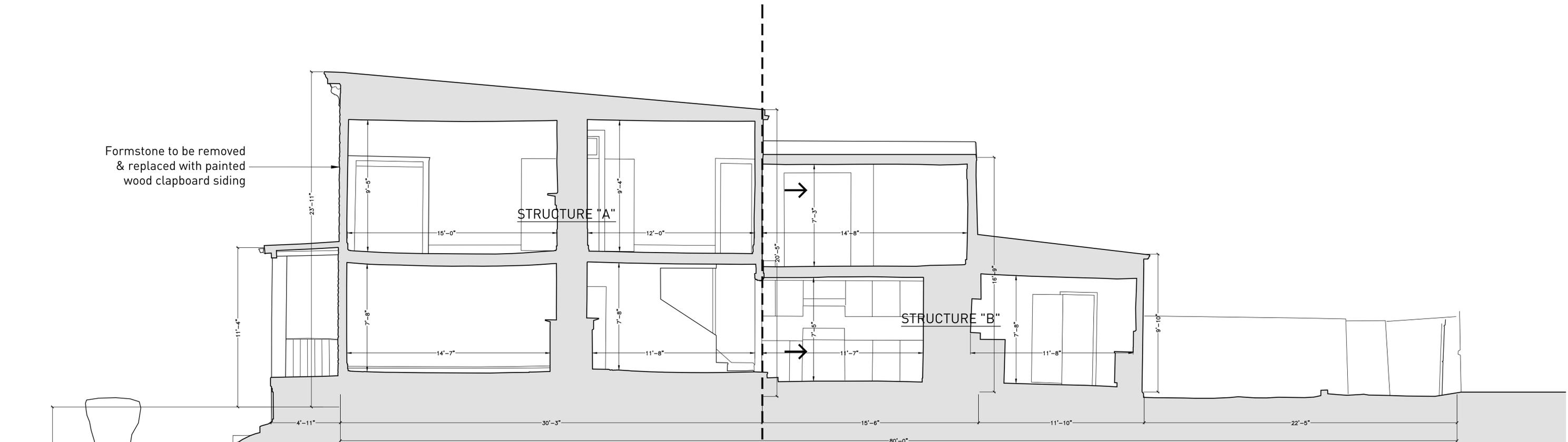
- ALL STRUCTURES AT REAR OF SITE TO BE REMOVED
- INCLUDING: STRUCTURE "B",
STRUCTURE "C",
Storage Shed
Concrete at Grade

OWNER: James & Heather Liddell
1100 First Street, SE, Apt 711
Washington, DC 20003
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ARCHITECT: Liddell Projects, LLC
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NOTES:

EXISTING - WEST ELEVATION		A1.92
Capitol Hill Townhouse 325 D Street SE Washington DC, 20003	PROJECT PHASE: CONCEPT DESIGN	
	REVISION NUMBER: REV00	
	RELEASE DATE: 10 SEP 14	
	SCALE: 5/16"=1'0"	



Formstone to be removed
& replaced with painted
wood clapboard siding

STRUCTURE "A"

STRUCTURE "B"

- EXTERIOR SURFACES OF STRUCTURE "A" TO BE REPLACED
- STRUCTURAL MEMBERS, WOOD FLOORING & WINDOW ASSEMBLY TO REMAIN
- PORCH TO BE RE-BUILT WITH BASEMENT WINDOWS & ENTRY VESTIBULE BELOW

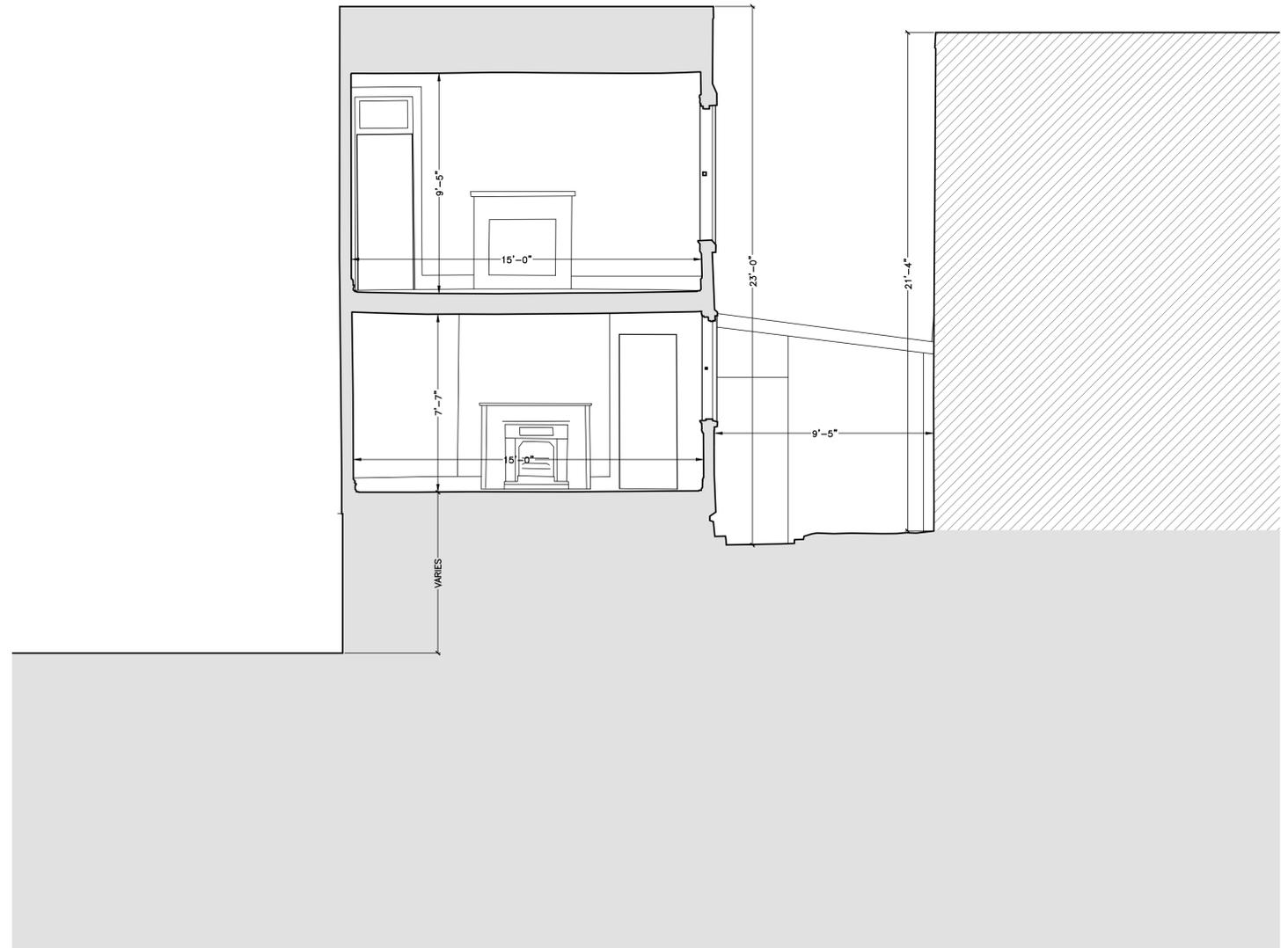
- ALL STRUCTURES AT REAR OF SITE TO BE REMOVED
- INCLUDING: STRUCTURE "B",
STRUCTURE "C",
Storage Shed
Concrete at Grade

OWNER: James & Heather Liddell
1100 First Street, SE, Apt 711
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NOTES:

EXISTING - WEST SECTION		A1.93
Capitol Hill Townhouse 325 D Street SE Washington DC, 20003	PROJECT PHASE: CONCEPT DESIGN	
	REVISION NUMBER: REV00	
	RELEASE DATE: 10 SEP 14	
	SCALE: 5/16"=1'0"	



OWNER: James & Heather Liddell
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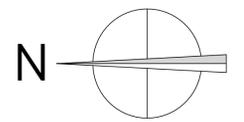
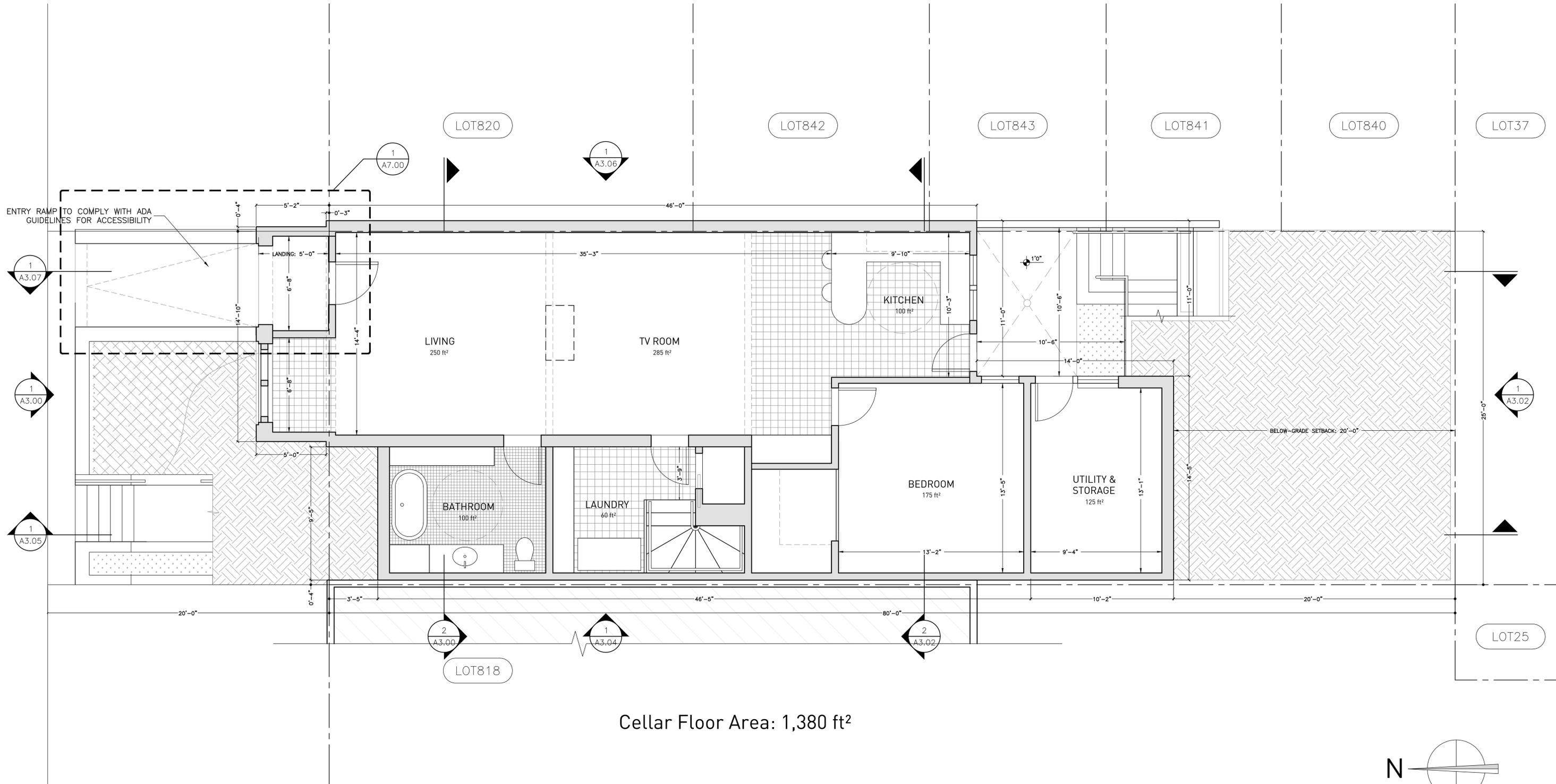
NOTES:

EXISTING - NORTH ELEVATION

Capitol Hill Townhouse
 325 D Street SE
 Washington DC, 20003

PROJECT PHASE:	CONCEPT DESIGN
REVISION NUMBER:	REV00
RELEASE DATE:	10 SEP 14
SCALE:	5/16"=1'0"

A1.94



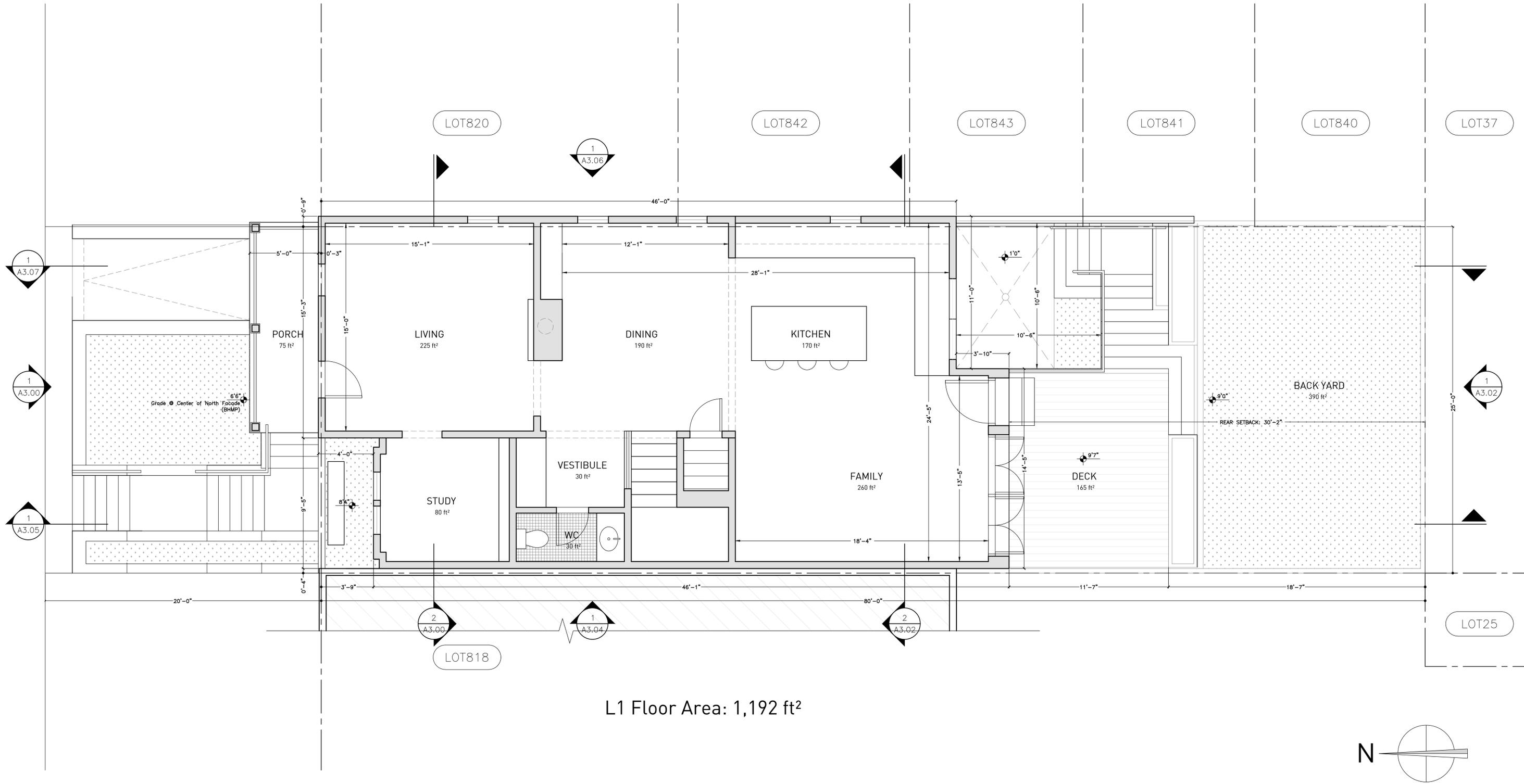
OWNER: James & Heather Liddell
 1100 First Street, SE, Apt 711
 Washington, DC 20003
 717.575.9778

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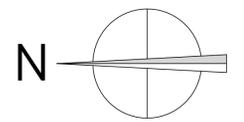
NOTES: Accessible Apartment for owner's grandmother. See FHA Application for more details.

Capitol Hill Townhouse 325 D Street SE Washington DC, 20003		PROJECT PHASE: CONCEPT DESIGN	A2.00
		REVISION NUMBER: REV00	
RELEASE DATE: 10 SEP 14			
SCALE: 5/16"=1'0"			

LEVEL 00 PLAN



L1 Floor Area: 1,192 ft²



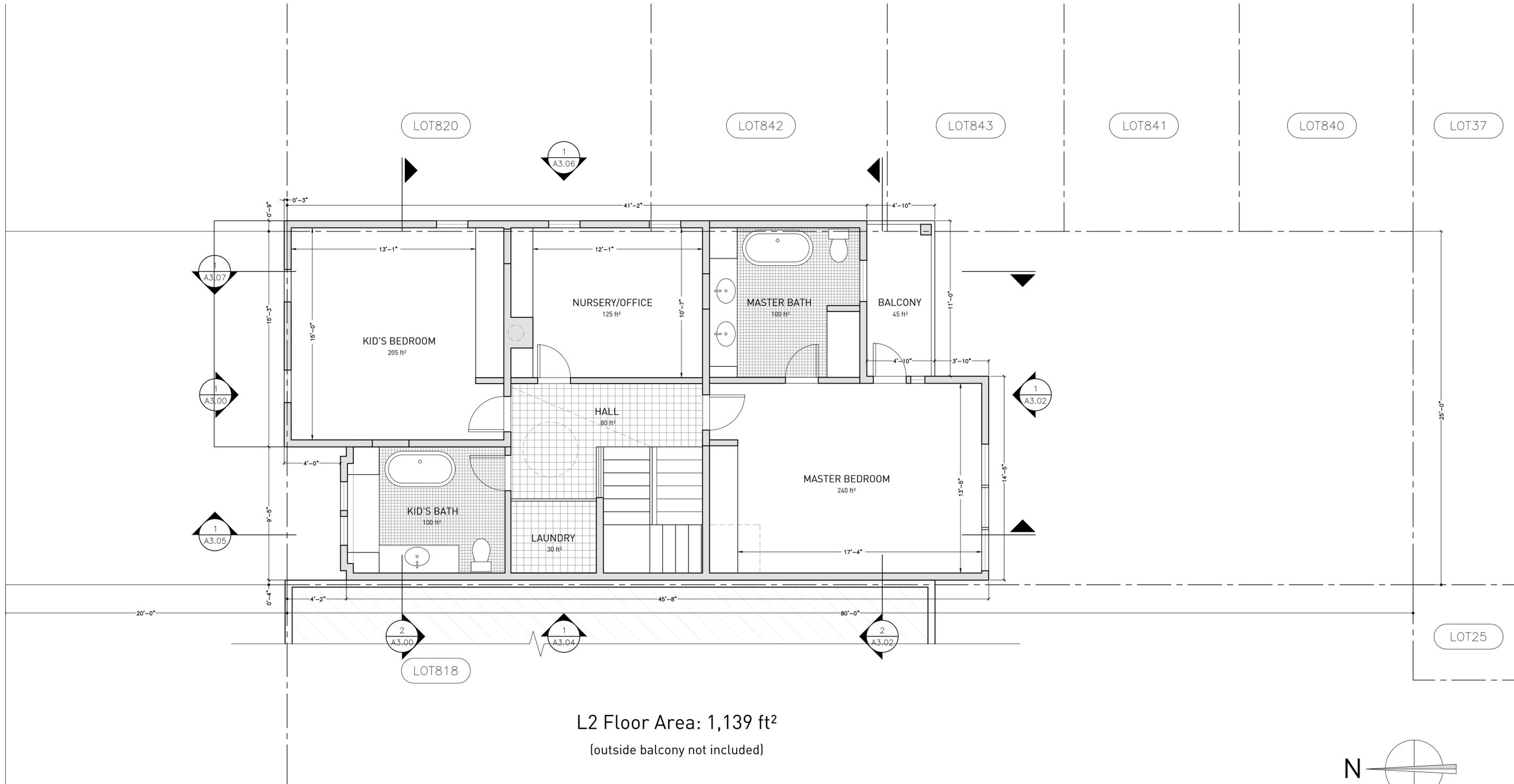
OWNER: James & Heather Liddell
 1100 First Street, SE, Apt 711
 Washington, DC 20003
 717.575.9778

ARCHITECT: Liddell Projects, LLC
 175 River Hill Rd.
 Conestoga, PA 17516
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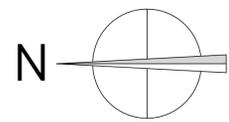
NOTES:

Capitol Hill Townhouse 325 D Street SE Washington DC, 20003		PROJECT PHASE: CONCEPT DESIGN	A2.01
		REVISION NUMBER: REV00	
RELEASE DATE: 10 SEP 14			
SCALE: 5/16"=1'0"			

LEVEL 01 PLAN



L2 Floor Area: 1,139 ft²
 (outside balcony not included)

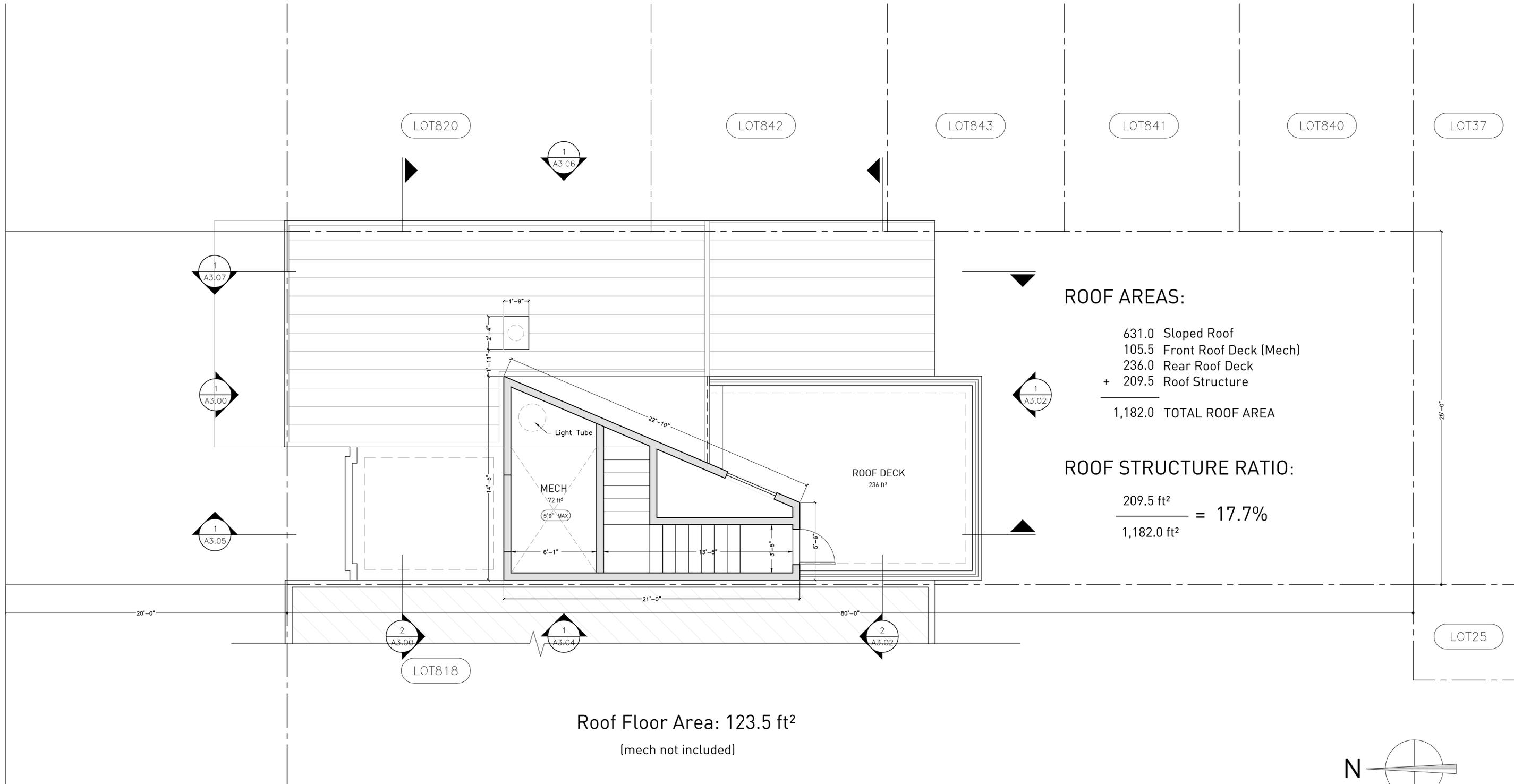


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 175 River Hill Rd.
 Conestoga, PA 17516
 717.575.8908

NOTES:

Capitol Hill Townhouse 325 D Street SE Washington DC, 20003		PROJECT PHASE: CONCEPT DESIGN	A2.02
		REVISION NUMBER: REV00	
RELEASE DATE: 10 SEP 14			
SCALE: 5/16"=1'0"			



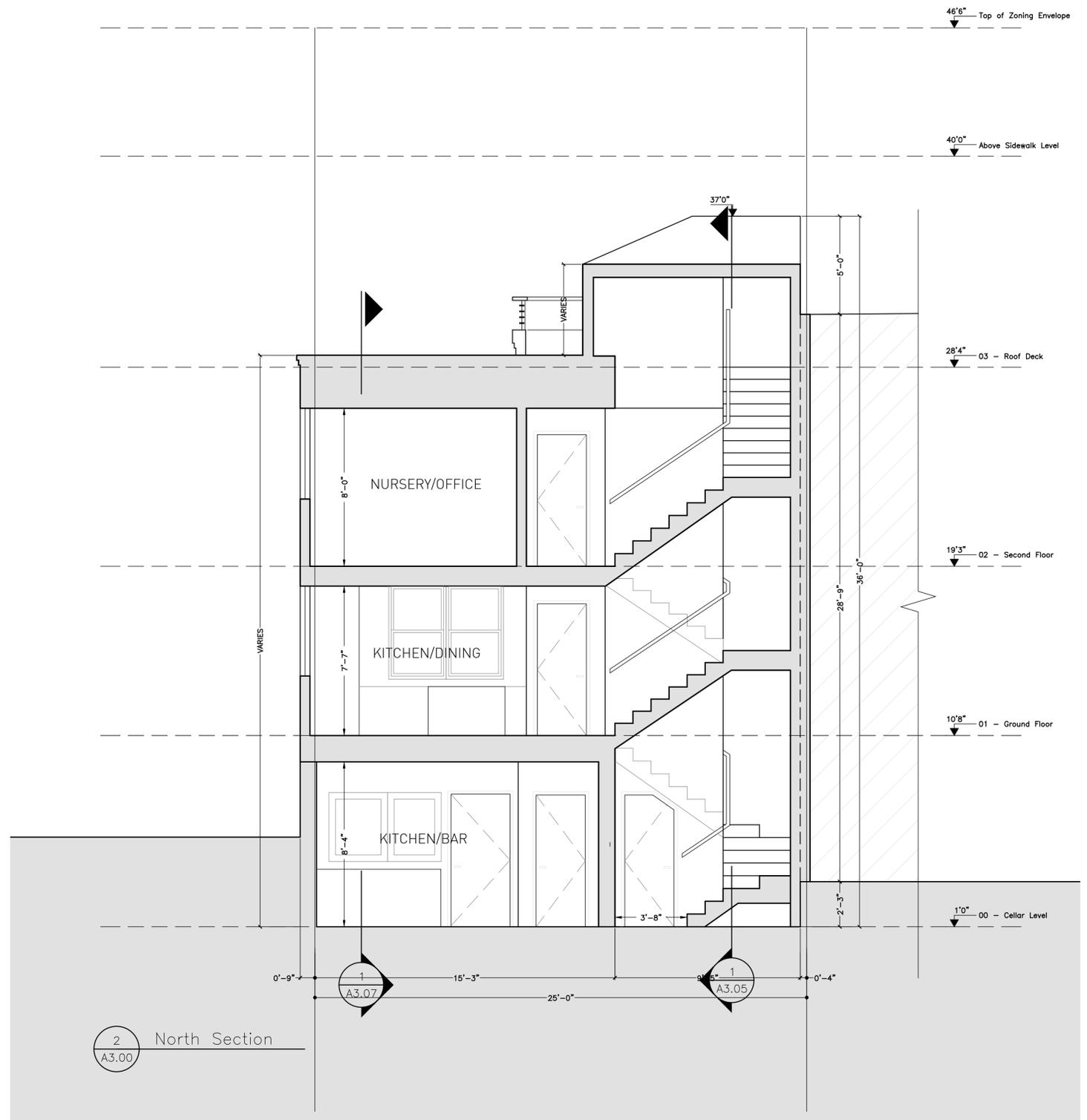
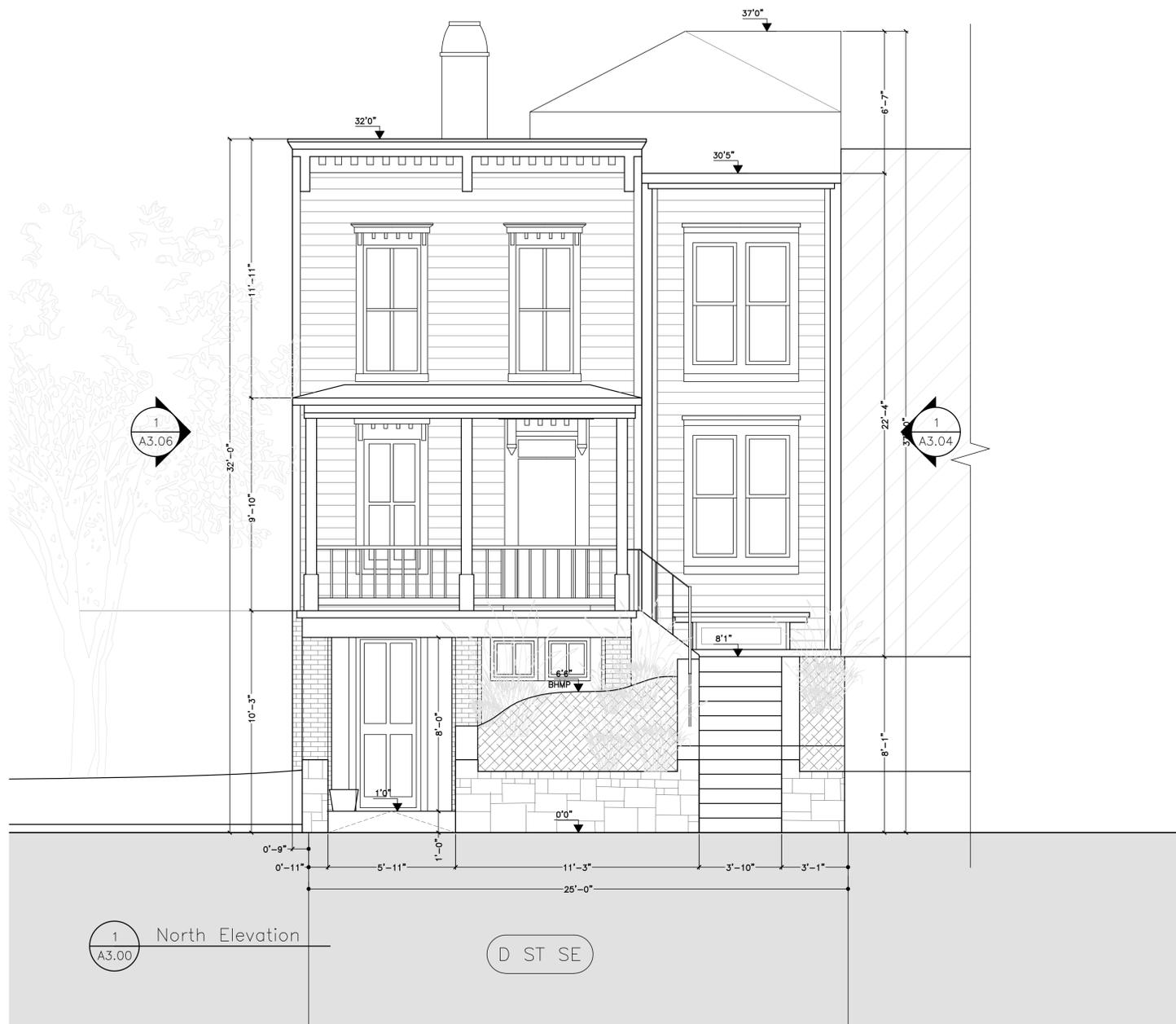
OWNER: James & Heather Liddell
1100 First Street, SE, Apt 711
Washington, DC 20003
717.575.9778

ARCHITECT: Liddell Projects, LLC
175 River Hill Rd.
Conestoga, PA 17516
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NOTES: Roof Deck and Roof Access Structure will not be visible from any public vantage point along D Street SE

Capitol Hill Townhouse 325 D Street SE Washington DC, 20003		PROJECT PHASE: CONCEPT DESIGN	A2.03
		REVISION NUMBER: REV00	
RELEASE DATE: 10 SEP 14			
SCALE: 5/16"=1'0"			

LEVEL 03 PLAN

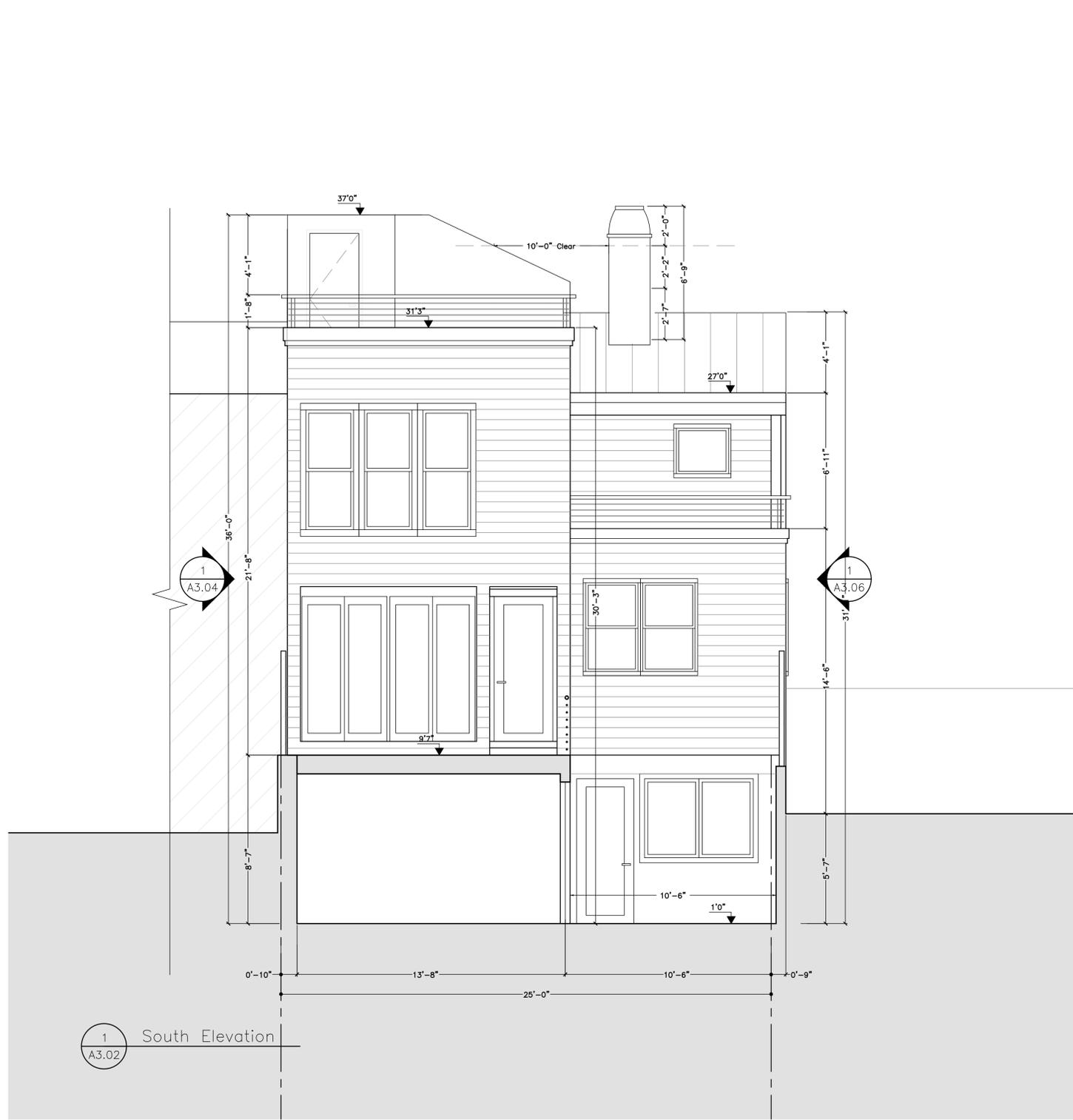


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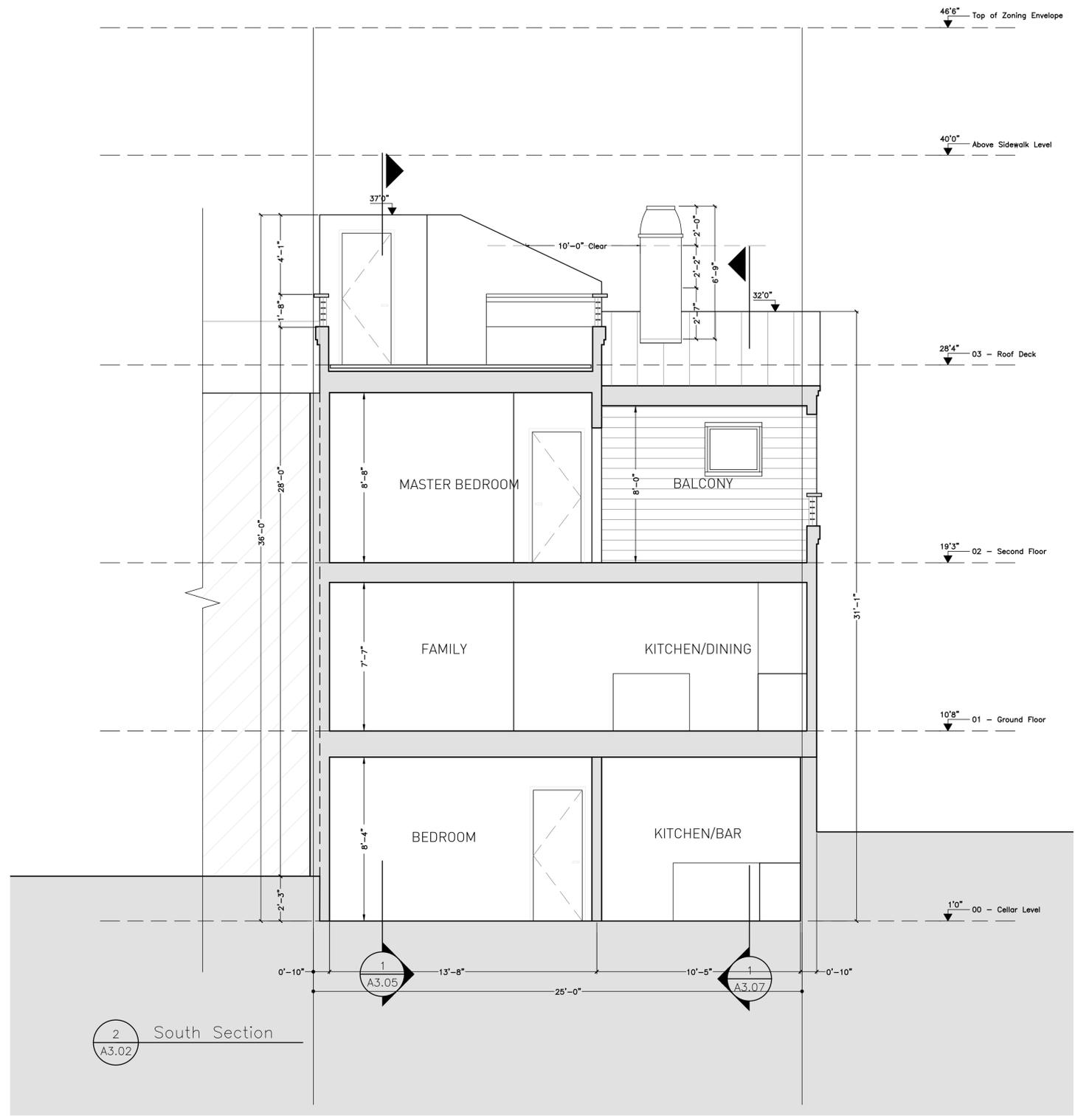
ARCHITECT: Liddell Projects, LLC
175 River Hill Rd.
Conestoga, PA 17516
717.575.8908

NOTES:

Capitol Hill Townhouse 325 D Street SE Washington DC, 20003		PROJECT PHASE:	LOT 819	A3.00
		REVISION NUMBER:	REV 00	
RELEASE DATE:	14 FEB 2014			
SCALE:	5/16"=1'0"			



1 South Elevation
A3.02



2 South Section
A3.02

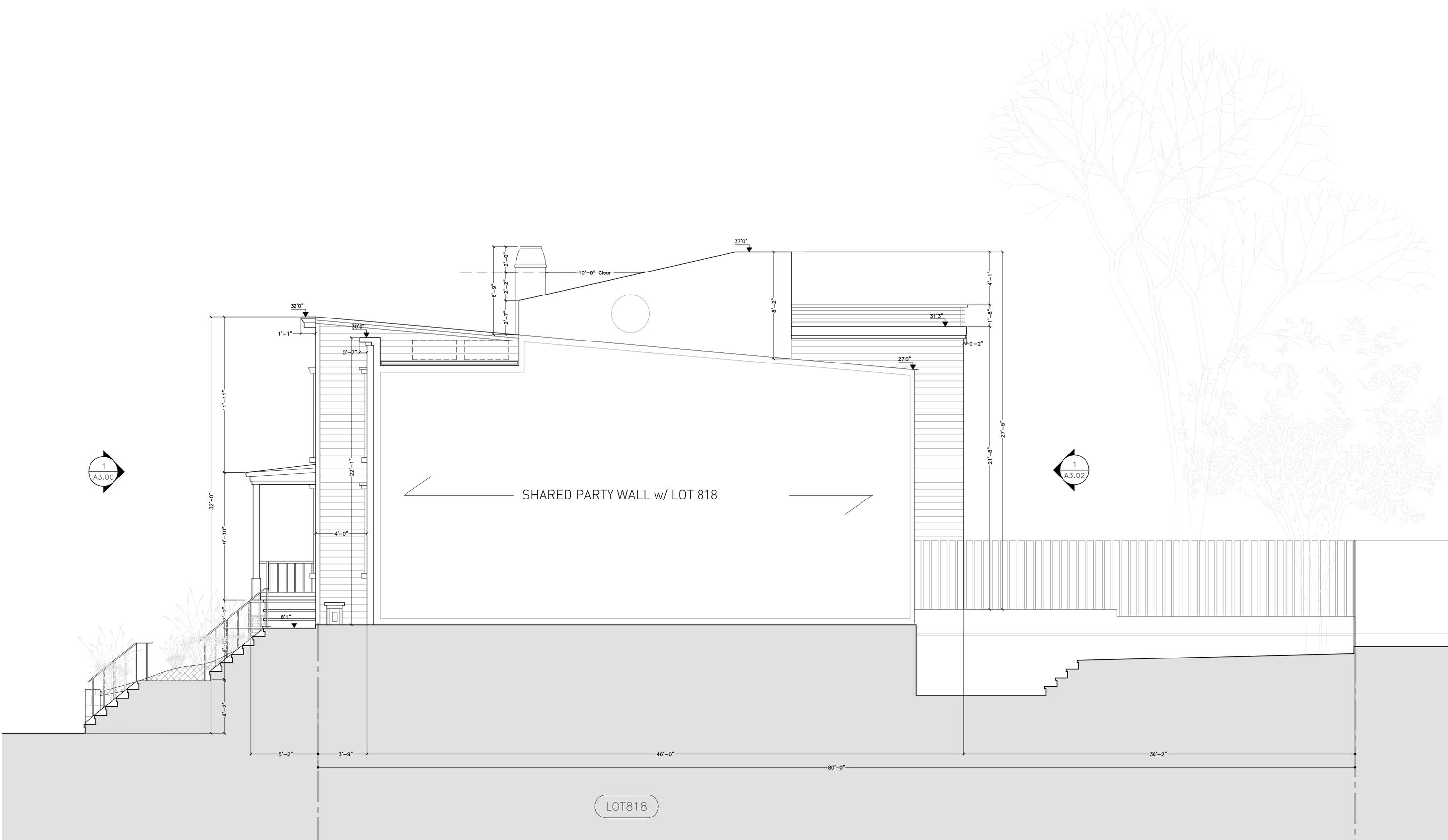
OWNER: James & Heather Liddell
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Washington, DC 20003
717.575.9778

ARCHITECT: Liddell Projects, LLC
175 River Hill Rd.
Conestoga, PA 17516
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NOTES:

Capitol Hill Townhouse 325 D Street SE Washington DC, 20003		PROJECT PHASE:	LOT 819
		REVISION NUMBER:	REV 00
		RELEASE DATE:	14 FEB 2014
		SCALE:	5/16"=1'0"

SOUTH ELEVATION
A3.02



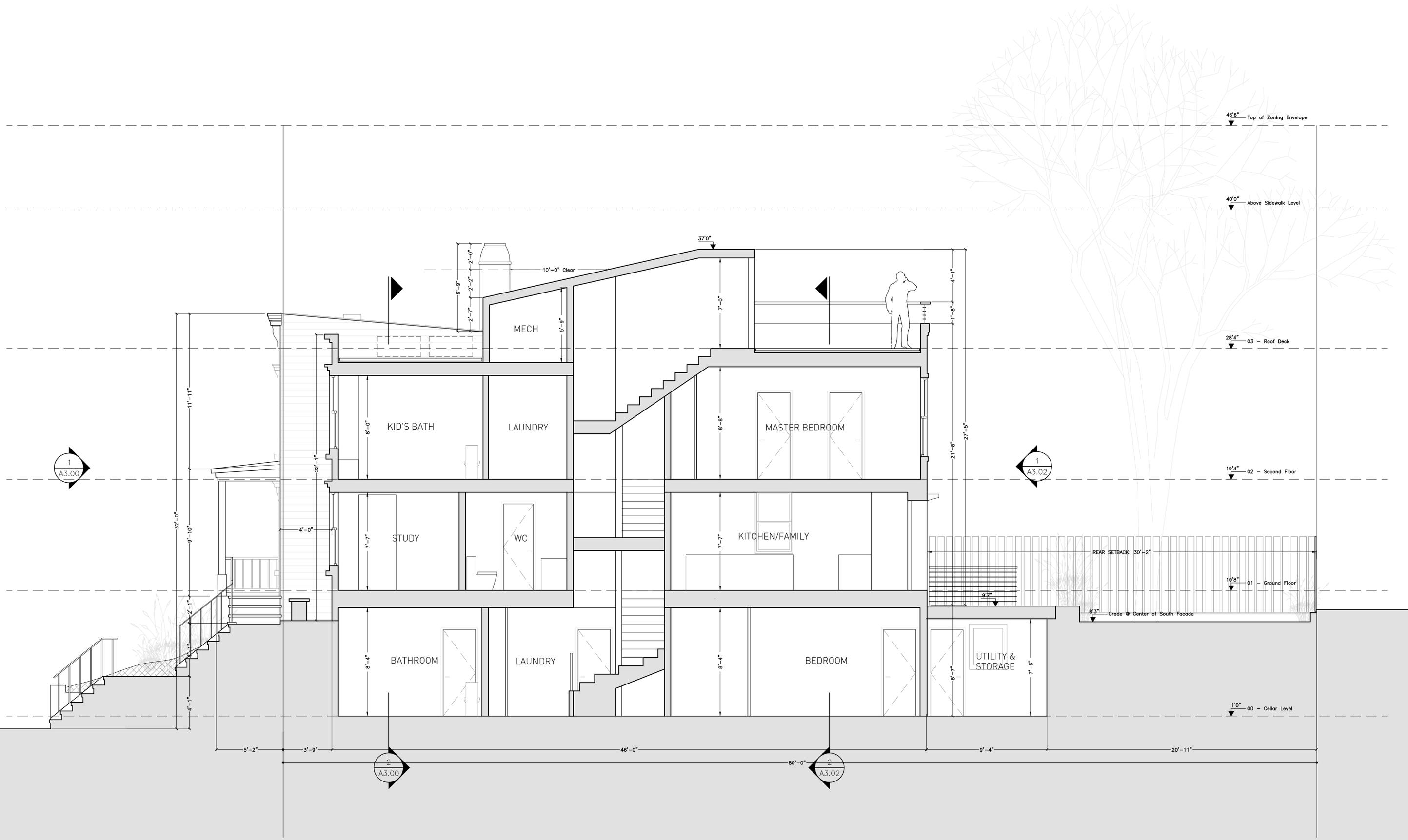
OWNER: James & Heather Liddell
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 717.575.9778

ARCHITECT: Liddell Projects, LLC
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NOTES:

Capitol Hill Townhouse 325 D Street SE Washington DC, 20003		PROJECT PHASE: CONCEPT DESIGN	A3.04
		REVISION NUMBER: REV00	
RELEASE DATE: 10 SEP 14			
SCALE: 5/16"=1'0"			

WEST ELEVATION



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 Conestoga, PA 17516
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NOTES:

Capitol Hill Townhouse 325 D Street SE Washington DC, 20003		PROJECT PHASE:	LOT 819	A3.05
		REVISION NUMBER:	REV 00	
RELEASE DATE:	14 FEB 2014			
SCALE:	5/16"=1'0"			

WEST SECTION



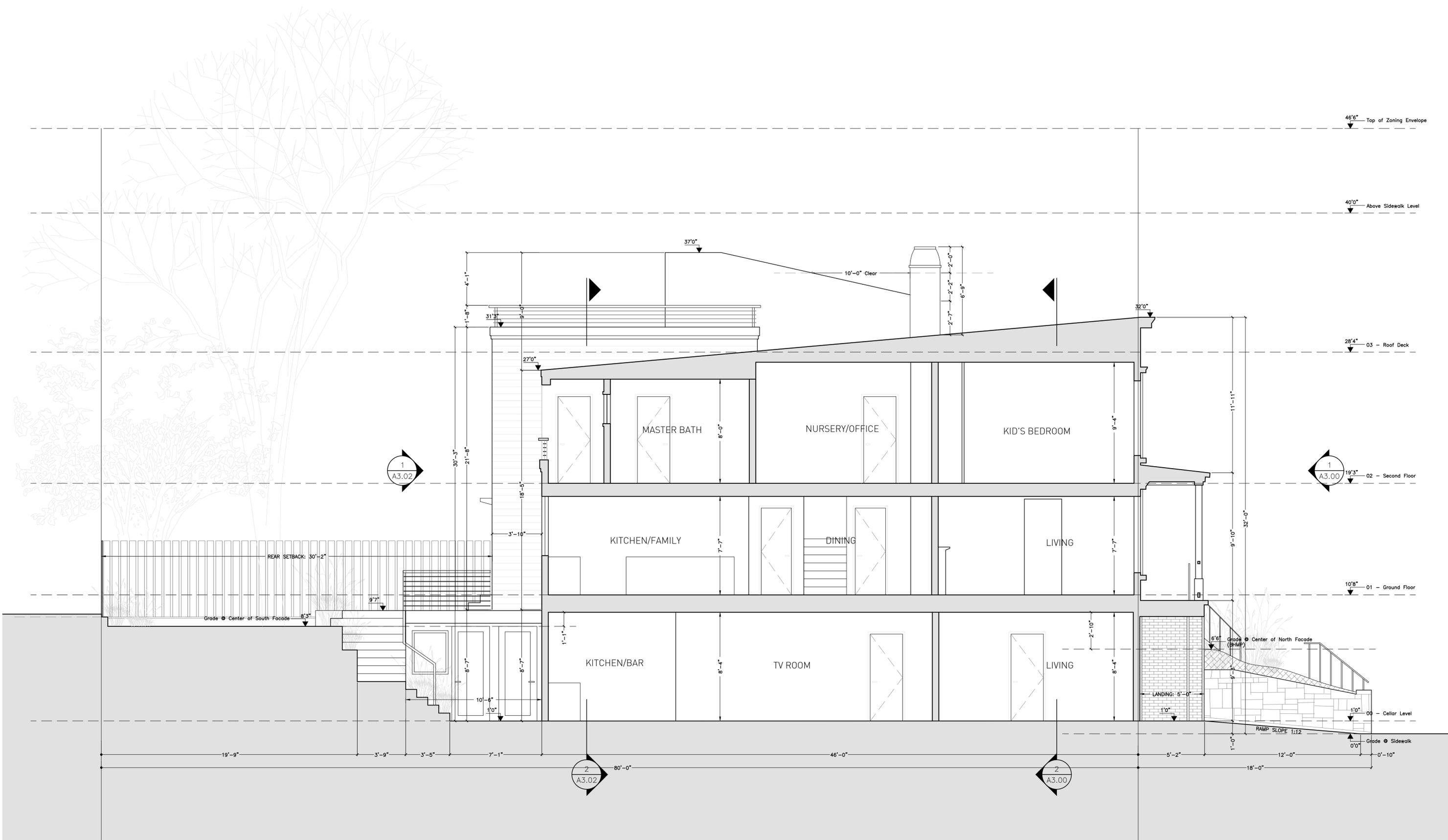
OWNER: James & Heather Liddell
 1100 First Street, SE, Apt 711
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 717.575.9778

ARCHITECT: Liddell Projects, LLC
 175 River Hill Rd.
 Conestoga, PA 17516
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NOTES:

Capitol Hill Townhouse 325 D Street SE Washington DC, 20003		PROJECT PHASE: CONCEPT DESIGN	A3.06
		REVISION NUMBER: REV00	
		RELEASE DATE: 10 SEP 14	
		SCALE: 3/16"=1'0"	

EAST ELEVATION



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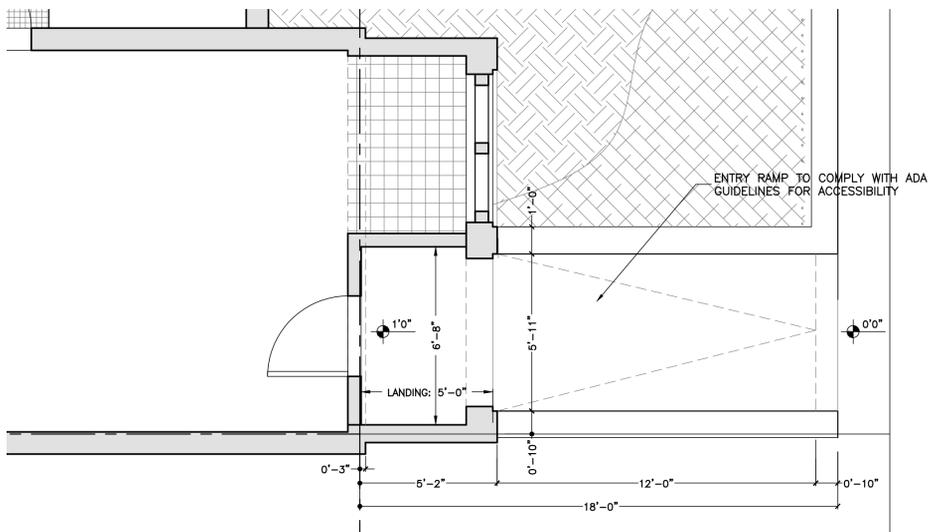
ARCHITECT: Liddell Projects, LLC
 175 River Hill Rd.
 Conestoga, PA 17516
 717.575.8908

NOTES:

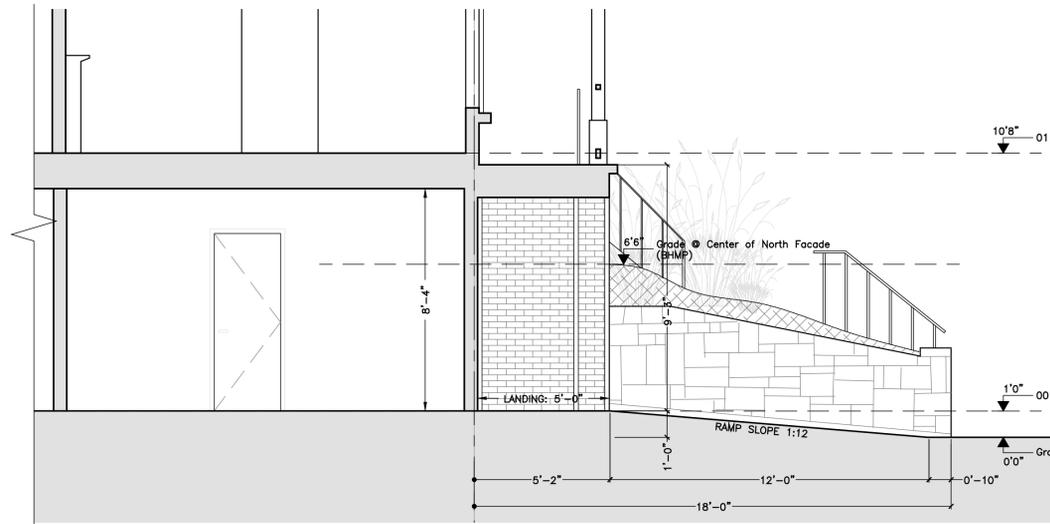
Capitol Hill Townhouse 325 D Street SE Washington DC, 20003		PROJECT PHASE:	LOT 819
		REVISION NUMBER:	REV 00
		RELEASE DATE:	14 FEB 2014
		SCALE:	5/16"=1'0"

EAST SECTION

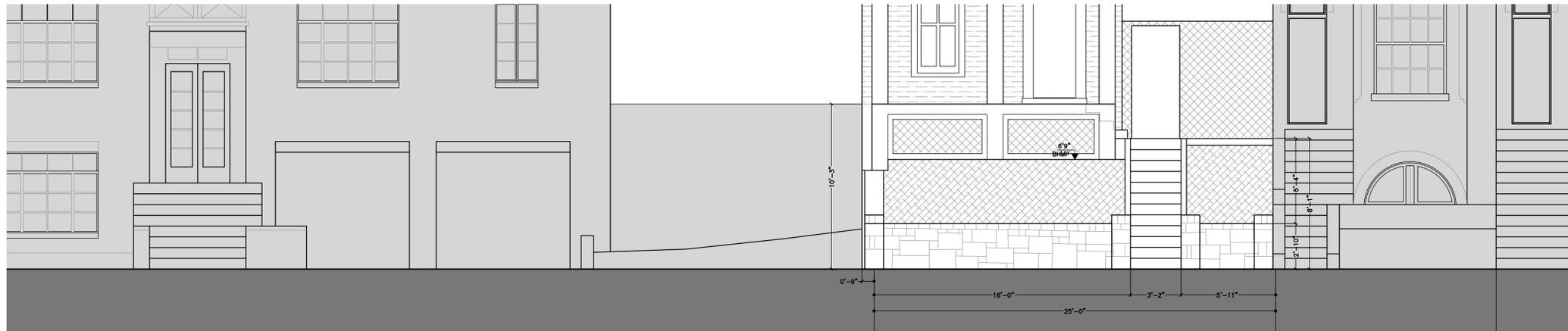
A3.07



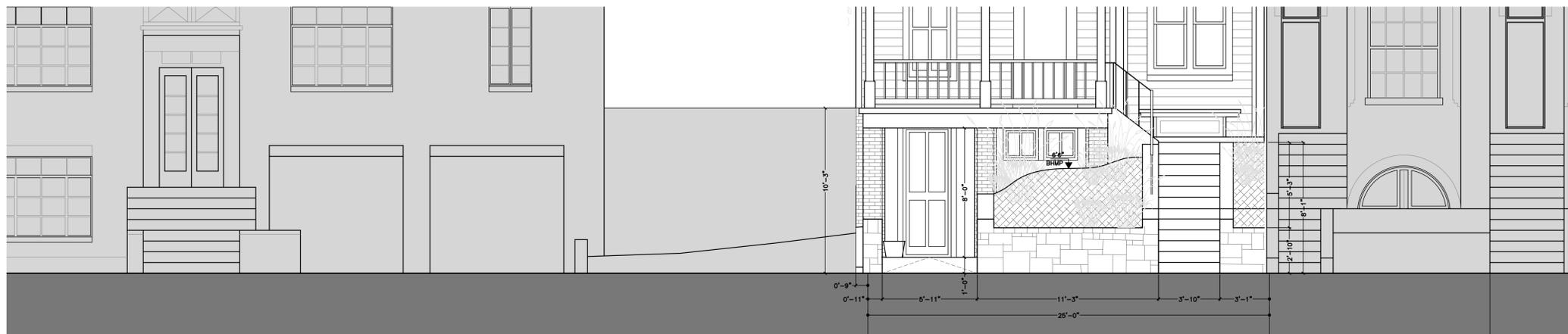
1 PLAN OF ENTRY RAMP
5/16"=1'0"



2 SECTION THROUGH ENTRY RAMP
5/16"=1'0"



3 STREET ELEVATION - EXISTING TOPOGRAPHY
1/4"=1'0"



4 STREET ELEVATION - PROPOSED TOPOGRAPHY
1/4"=1'0"



5 PERSPECTIVE VIEW OF PROPOSED RAMP ENTRY
A7.00

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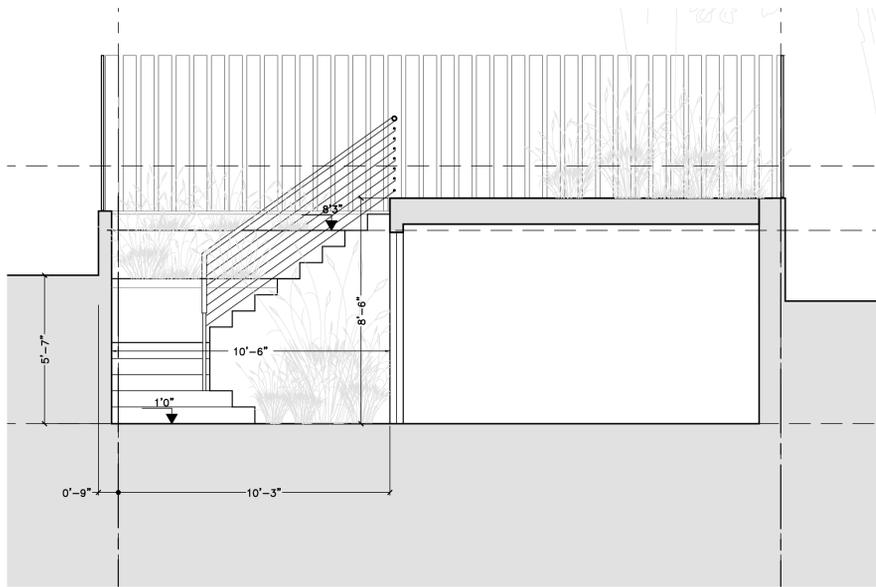
NOTES: Accessible Apartment for owner's grandmother. See FHA Application for more details.

FRONT ENTRY DIAGRAM

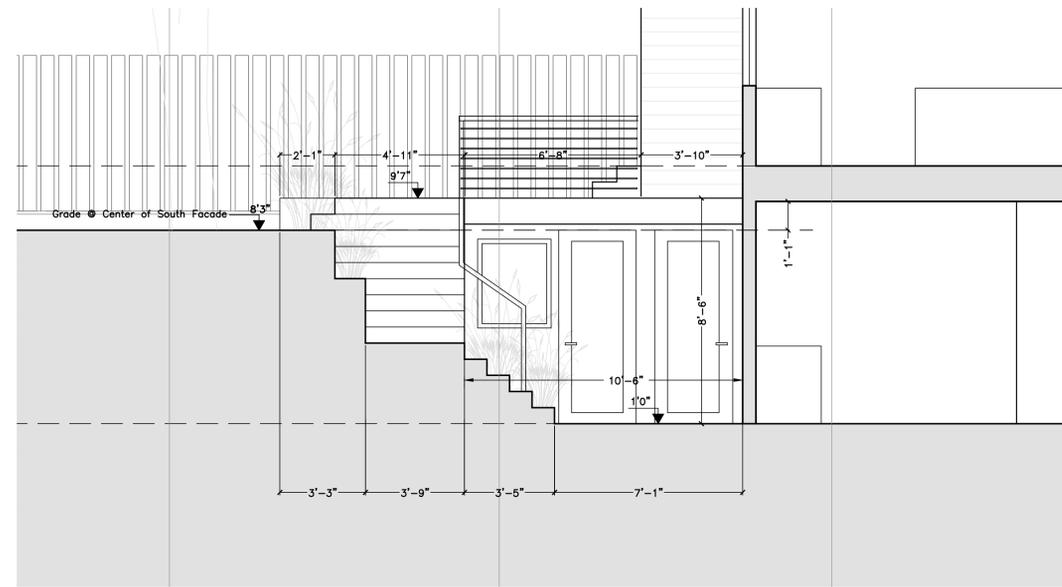
Capitol Hill Townhouse
325 D Street SE
Washington DC, 20003

PROJECT PHASE: CONCEPT DESIGN
REVISION NUMBER: REV00
RELEASE DATE: 10 SEP 14
SCALE: 5/16"=1'0"

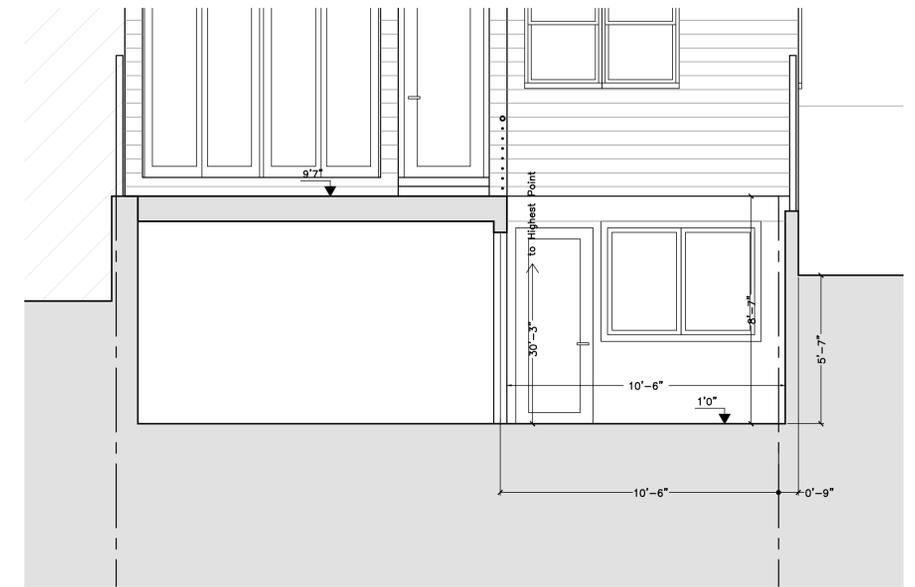
A7.00



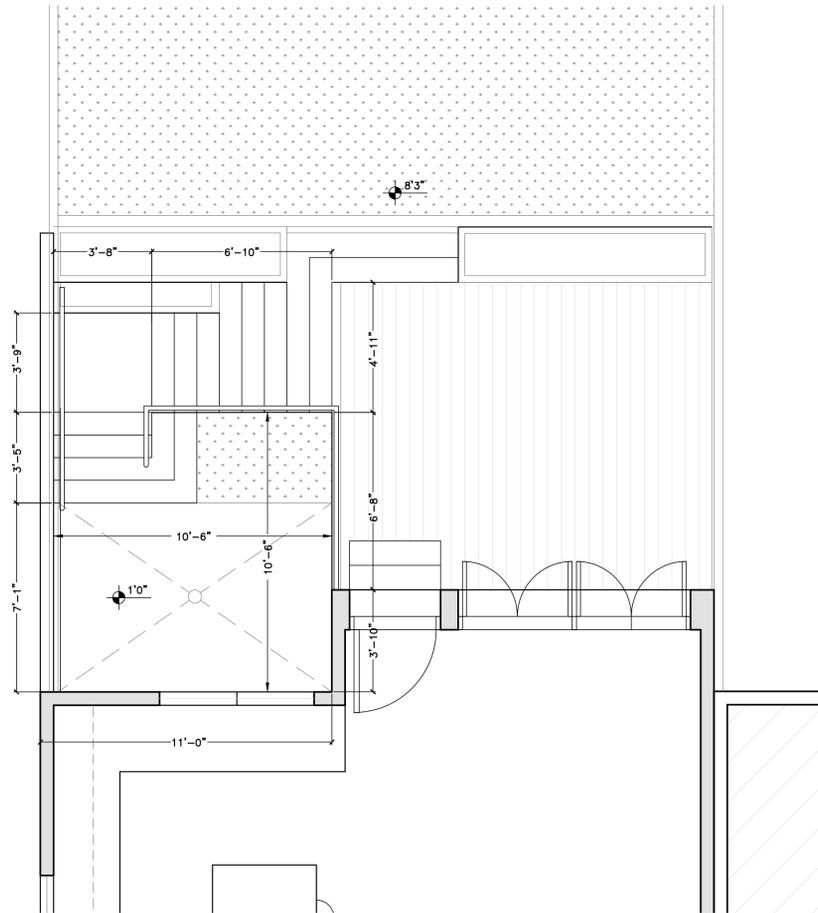
1 REAR COURT - SOUTH STAIR
A7.01 5/16"=1'0"



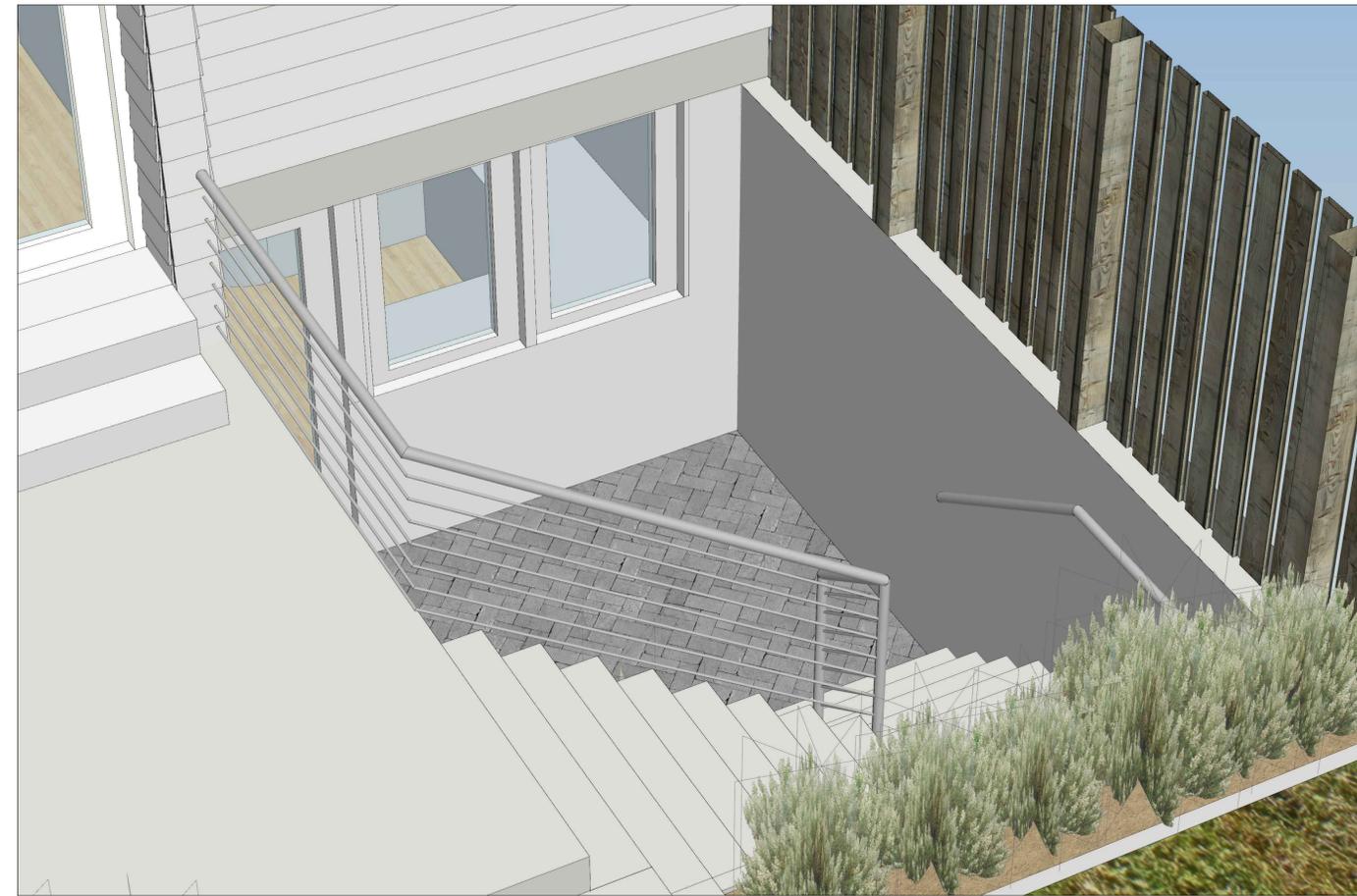
2 REAR COURT - WEST
A7.01 5/16"=1'0"



3 REAR COURT - NORTH
A7.01 5/16"=1'0"



5 PLAN OF REAR COURT & STAIR
A7.01 5/16"=1'0"



7 PERSPECTIVE VIEWS OF REAR COURT
A7.01 5/16"=1'0"



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NOTES:

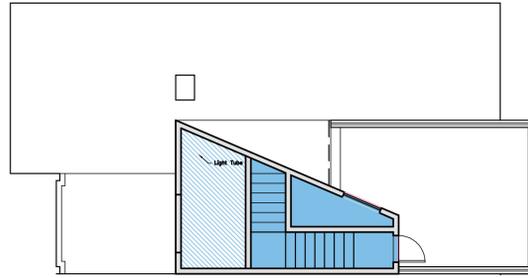
Capitol Hill Townhouse 325 D Street SE Washington DC, 20003		PROJECT PHASE: CONCEPT DESIGN	A7.01
		REVISION NUMBER: REV00	
RELEASE DATE: 10 SEP 14			
SCALE: 5/16"=1'0"			

AREA CALCULATIONS

2,000 Site Area (ft²)
 x 1.8 Floor Area Ratio (FAR)

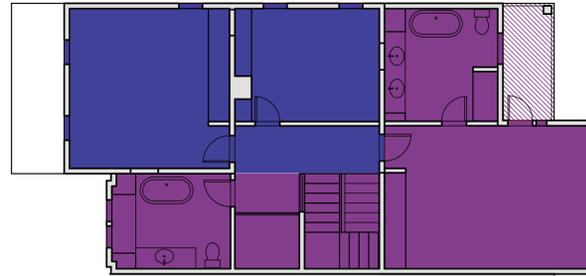
 3,600 TOTAL GFA

03



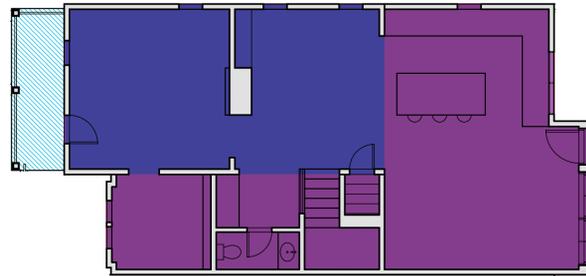
41.0 ft² Roof Storage
 82.0 ft² Roof Stair = 123.0 ft² Roof Structure
 85.0 ft² Mechanical
 *ceiling height less than required 6'6"

02



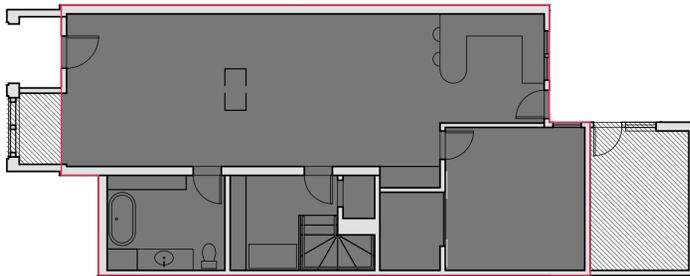
483.5 ft² Original Building
 246.5 ft² Side Addition
 409.0 ft² Rear Addition = 1,139.0 ft² Second Floor
 53.0 ft² Outside Balcony

01



483.5 ft² Original Building
 246.5 ft² Side Addition
 462.0 ft² Rear Addition = 1,192.0 ft² Ground Floor
 75.5 ft² Front Porch

00



1,192.0 ft² Cellar Floor Area
 146.0 ft² Rear Utility Room
 40.0 ft² Front Annex
 *below grade floor area not included in GFA

123.0 ft² Roof Structure
 1,139.0 ft² Second Floor
 + 1,192.0 ft² Ground Floor

 2,454.0 ft² TOTAL GFA

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NOTES:

AREA CALCULATIONS

Capitol Hill Townhouse
 325 D Street SE
 Washington DC, 20003

PROJECT PHASE: CONCEPT DESIGN
 REVISION NUMBER: REV00
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A9.00